

# Exhibit CC

A Developer must satisfy a set of **40b specific Design Guidelines**.

## **The Narrative Description of Design Approach**

**Is submitted at two phases. They are included in the preliminary paperwork and then again, prior to receiving final approval.**

This second submission must be approved by Mass Housing **BEFORE funding is permitted from a state agency**.

**Upton residents are still having a discussion about this project, we do not consider that we have completed the Public Hearing phase of this process.**

In the initial Narrative Design Approach Lobisser Construction has ignored and minimized the nature of the historic setting to which the building at 47 Main would be inserted.

They have under-represented the historic homes on our Main Street, the Historic District, and the vast majority of neighboring buildings and homes. Even those built prior to 1970, are considered Historic by updated Federal Standards.

The narrative that was submitted insults the residents of these many homes, and local businesses that have maintained, thru hundreds of years, their original architecture. He refers to each home, as though they are all the same with their lap siding and asphalt roofs.

Clapboard siding, which of course is what 99% of them are, is a type of siding that was used in Upton as early as the 1600's, because it kept the cold and wet New England weather out. That foundational design is consistent with a building of historic significance, not a common element.

The initial Narrative Design submission to Mass Housing includes comments that imply a town and neighborhood filled with homes of no significant architectural or historic elements, and of low or simple construction standards. Nothing could be more false.

Here is the reality.

In the 1800's, world renowned architects descended on the East Coast markets and influenced how buildings looked and were constructed. Many of the designs that were first introduced in major cities found their way to Upton. The prosperity brought on by the Industrial Revolution meant that the homes, churches, Town Hall and businesses in Upton were of the finest design and construction.

Upton, tiny as it is, has a deep well of examples of homes from different eras and origin. We have a catalog of homes, which represent in the simplest and also most gorgeous detail, our varied cultural and architectural history.

Victorian, Gothic, Greek Revival, Dutch Gambrel, Colonial, Georgian, Federal...endless design influences, all of them cared for by past, current and future residents.

However well intentioned 149 was, is, that project should not be the precedent for new construction. Construction that contributes nothing to our aesthetic, instead, grossly degrades it.

This project, if it makes the same "imprint" as what was built next to 149 Main, is a tragic disregard for the founding fathers, The Knowlton's, estates that abut it.

Bill McCormick built a beautiful multi-unit property on Main Street in the West Village. The design perfectly reflects the scale, historic design and use of a building in that location. His affection for Upton is evident in that build.

Prior to this project advancing any further there should be a more careful consideration of the desires of Upton residents. Residents **now and in the future** that will otherwise regret we didn't try harder to hold true to our stated priorities.

We must be the best caretakers possible of those things that contribute to making our community such a beautiful place to live.

We know that the State, the country, is focused on many aspects of housing, and participating in that goal is important to Upton residents.

There are ways that a small rural community participates in that agenda. We are not required to accept a 40b proposal without conditions.

We have participated by funding the Housing Production Plan.

The commitment by the Affordable Housing Trust Committee to lead by example and spearhead town directed units being built is happening, now. AND, we just saw Inclusionary Zoning passed at Town Meeting. We are on track to meet our 10% of SHI. And it does not have to be at the feet of an agenda that negates so much of the work of our past.

**The 40b Design Guideline Handbook "supports 40b Housing that does not see the development of them destroy the rural, historic character of the towns in which they are being built."**

To Lobisser Construction. Please do not bring us your least common denominator of projects. You should know that the experience of seeing a community filled with appreciation will only fuel more success in YOUR future.

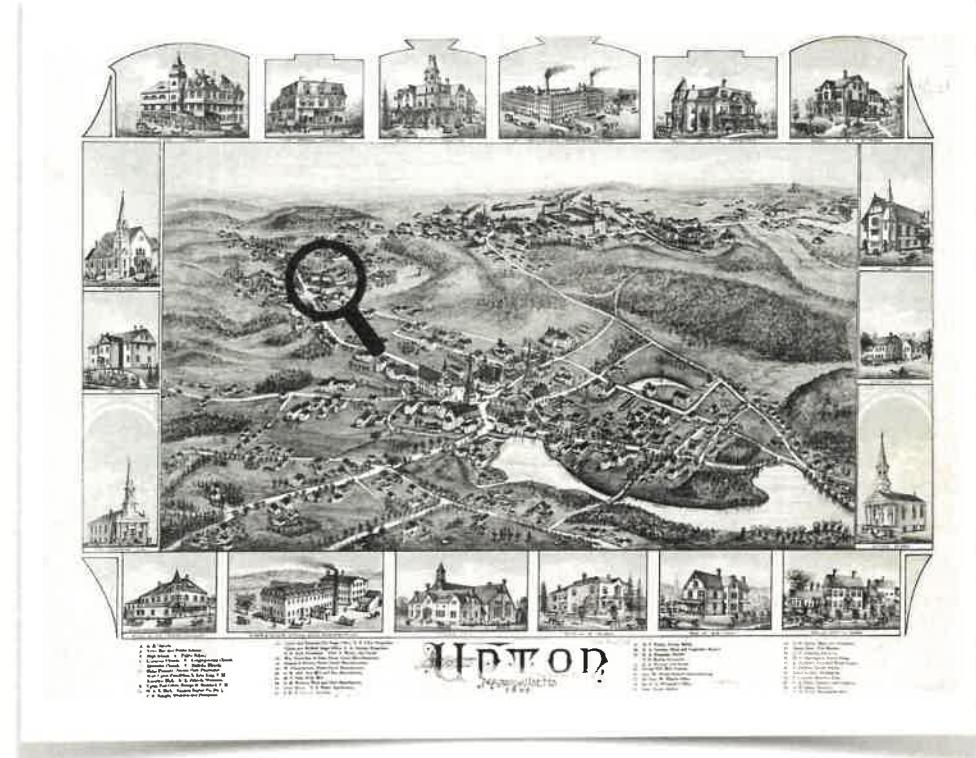
To the ZBA. Please let's take our time. No matter the implied deadlines. Take the urgency out.

In positions of leadership, close to so much of the decision making, you can not deny the vast amount of money that Upton has already spent to say loudly, history matters, water quality matters, our environment matters...

Upton residents should not be left to feel un-supported by this board. Left to feel that your mandate does not place our list of concerns and priorities at the top of yours.

Please, bring your best judgement, and your deep well of loyalty to the Town of Upton to the table.





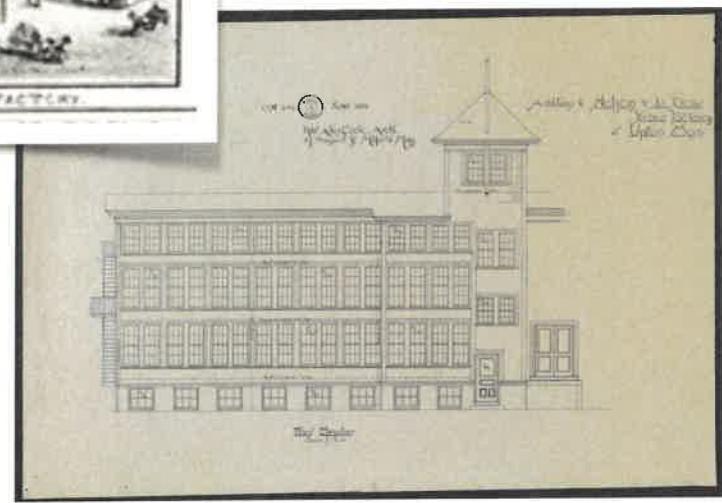
**This is the site of the Nelson & Benson, later Nelson & LaDow, Straw Hat Manufactory.**

*This Historic Site is located on Main Street between Fiske and School Street. The abutting fields, as well as hundreds of additional acres of fields in Upton, were used to harvest hay for braid and hat making.*

**Upton Became the Largest Straw Hat Company in the World.**

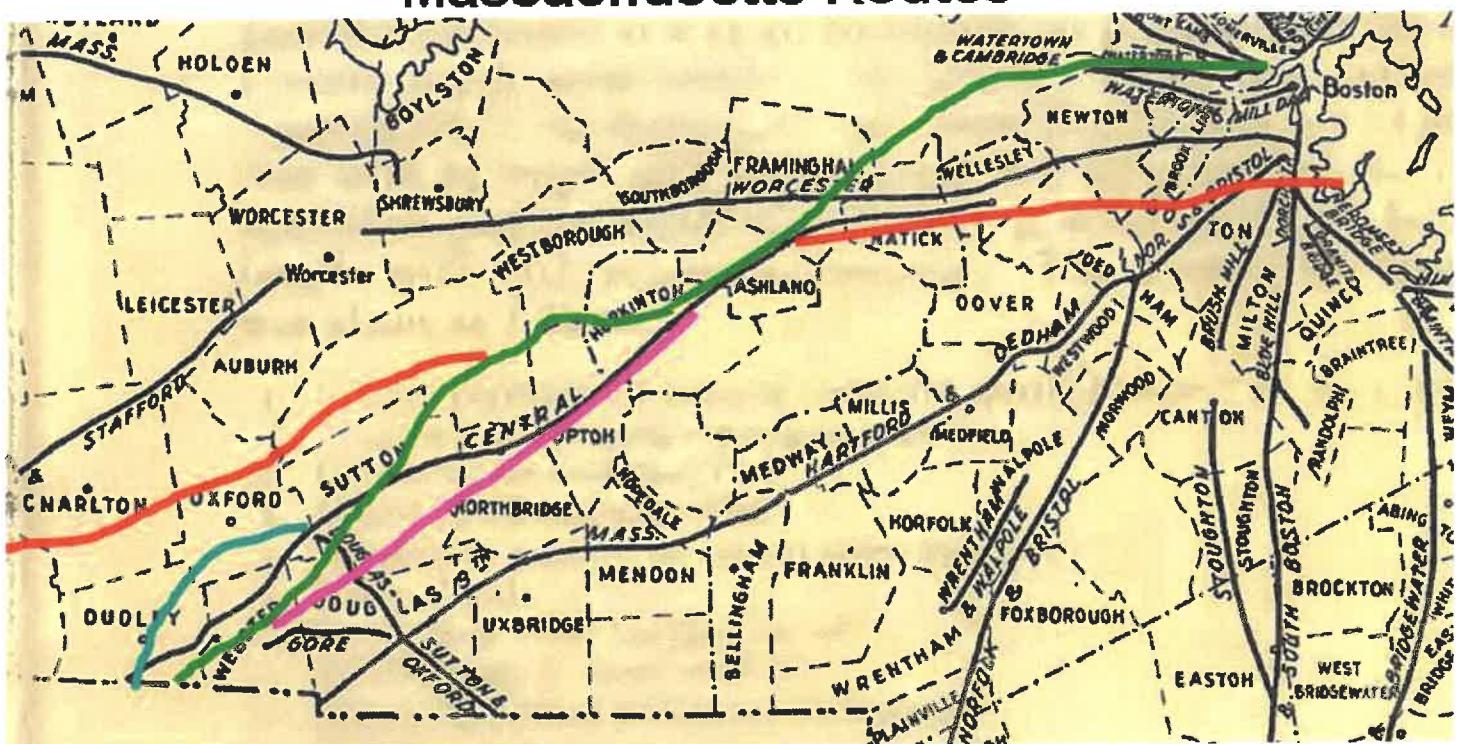


NELSON & BENSON STRAW GOODS MANUFACTORY.





# Old Connecticut Path & Bay Path Massachusetts Routes



- Old Connecticut Path (Green)
- Bay Path (Red)
- Old Connecticut Path cutoff (Purple)
- Oxford-Woodstock Great Road (Blue)

Map from : Turnpikes of New England by Frederic J. Wood, 1910

