

The diagram illustrates a cross-section of an embankment slope. At the top, a layer of '6" LOAM & SEED' is shown with a '10' MIN.' horizontal dimension. Below this is a thick, textured layer labeled 'UNDISTURBED EARTH'. The slope is divided into three distinct layers: Layer 1 (bottom), Layer 2 (middle), and Layer 3 (top). Layer 1 is a thin layer of 'ORDINARY BORROW BACKFILL MATERIAL COMPACTED IN 8" LIFTS, FREE OF LARGE BOULDERS OR ORGANIC MATERIAL.' Layer 2 is a thick, textured layer labeled 'UNDISTURBED EARTH'. Layer 3 is a thin layer of 'IMPERVIOUS CORE MATERIAL CONSISTING OF MATERIAL WITH LESS THAN 1×10^{-6} CM/SEC PERMEABILITY COMPACTED TO 93% PROCTOR DENSITY PLACED IN 6" LIFTS. LABORATORY TEST RESULTS OF CLAY MATERIAL TO BE UTILIZED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.' A note specifies that 'CORE MATERIAL SHALL EXTEND A MIN. OF 2' BELOW EXISTING GRADE.' A dimension line indicates a '2' MIN.' vertical distance from the bottom of Layer 3 to the 'TO EXISTING GRADE' line. The top of Layer 3 is labeled 'TO EXISTING GRADE'.

Plan View

Section A-A

End View

| Pipe Diameter | Trash Rack Width W (in.) | Trash Rack Length L (in.) | Total # of Bars B | Bar Spacing S (in.) |
|---------------|--------------------------|---------------------------|-------------------|---------------------|
| 12" | 21.00" | 30.00" | 3 | 6.0" |
| 15" | 28.00" | 32.00" | 3 | 6.5" |
| 18" | 33.00" | 34.00" | 3 | 8.0" |

24" METAL GRATE

TOP GRATE ELEV.=327.73

4" ORIFICES ELEV. = 326.50

4" ORIFICES ELEV. = 324.50'

BOTTOM OF BASIN ELEV. = 322.00

EST. GW ELEV. = 318.00

10' MIN.

TOP BERM ELEV.=329.00

10' WIDE SPILLWAY=328.00

100YEAR ELEVATION=327.73

3 (TYP.)

24" CONC. PIPE

3 MIN.

INVERT OUTLET ELEVATION=322.00

15" HDPE OUTLET

S = 0.02

3/4" CRUSHED STONE

COMPACTED SURGRADE

INVERT OUTLET ELEVATION=321.50

BASIN#1 ROUND OUTLET
CONTROL STRUCTURE #1

NOT TO SCALE

RIP-RAP SPECIFICATIONS

| STONE SIZE | % OF TOTAL WEIGHT SMALLER THAN GIVEN SIZE |
|------------|---|
| 100 LB. | 100% |
| 60 LB. | 80% |
| 25 LB. | 50% |
| 2 LB. | NOT TO EXCEED 10% |

NOT TO SCALE

FLARED END RIP RAP OUTLET

NOT TO SCALE

NOTES:

1. FILTER MATERAIL BENEATH & COURSE SAND MIX. (5")
2. MINIMUM WEIGHT OF STONE
3. 75% OF TOTAL STONE VOL
4. MINIMUM DEPTH OF RIP-RAP

STONE RIP-RAP CHANNEL
(SEE HW DETAIL FOR
(SLOPE SPECS.)

"D"/2+2'

"D"/2+2'

ANK IS OF GRAVEL

JM WEIGHT = 125 LBS.
> STONES.

TH RIP RAP

24" METAL GRATE

TOP GRATE
ELEV.=328.00

(1) 4" ORIFICES ELEV. = 327.30

(1) 2" ORIFICES ELEV. = 325.00

BOTTOM OF BASIN ELEV. = 324.00

EST. GW ELEV. = 318.00

INVERT OUTLET
ELEVATION=322.75

15" HDPE
OUTLET
 $S = 0.0375$

INVERT OUTLET
ELEVATION=322.00

3/4" CRUSHED STONE

COMPACTED SUBGRADE

VARIES

TOP BERM
ELEV.=329.50

SPILLWAY=328.33

100YEAR ELEVATION=328.33

3 (TYP.)

3 MIN.

24" CONC. PIPE

VARIES

BASIN#2 ROUND OUTLET
CONTROL STRUCTURE #2
NOT TO SCALE

SECTION

7 LEVEL SPREADER & SETTLING BASIN

7.3

SEED ACCESS ROAD AND AREAS IDENTIFIED AS LOAM & SEED WITH SEED MIX NOTED

10' WIDE ACCESS DRIVEWAY

6" COMPACTED LOAM/GRAVEL MIX (50/50)

8" COMPACTED GRAVEL BASE COURSE

COMPACTED SUBGRADE

C.L.

NOTES:
[1] SEED ACCESS ROAD AND AREAS IDENTIFIED AS LOAM & SEED WITH SEED MIX NOTED BELOW

SEED WEIGHT
CREEPING FESCUE IMPROVED VARIETIES
70
KENTUCKY BLUE GRASS IMPROVED VARIETIES
15
PERENNIAL RYE GRASS IMPROVED VARIETIES
15

8
7.3

BASIN ACCESS DRIVE

NOT TO SCALE

10" REBAR (TYP) SEE SCHEDULE

5'-8" 4'-0" 10" 18" POLY OUTLET I=559.00

STEEL SAFETY GRATING - SECURE WITH ANCHOR BOLTS & CUPS AT 2' O.C.

8" THICK REINFORCED Poured CONC. WALL (TYP)

8" THICK REINFORCED Poured CONC. FOOTING BELOW

12"-564.50

9'-0"

2' 0" 2' 0"

CL

GRADE LINE

TOP OF FOOTING EL=558.00

CONTINUOUS WATER STOP

12" THICK REINFORCED Poured CONC. FOOTING

ELEVATION

8"

PLAN VIEW

REINFORCEMENT SCHEDULE

| BAR | NO. | SPACING (IN.) |
|-----|-----|---------------|
| "L" | 4 | 10" O.C. |
| "O" | 3 | 12" O.C. |
| "P" | 3 | 18" O.C. |

6
7.3

OUTLET CONTROL STRUCTURE DETAIL

NOT TO SCALE

10
7.3

CULTEC RECHARGER 330LXHD

NOT TO SCALE

NOTES:

1. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL SYSTEMS". THE CHAMBER CONFIGURATION SHALL INCLUDE:
 1. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 2. MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 3. 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
2. THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION SYSTEMS".
3. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 13. THE RECOMMENDED INSTALLATION INSTRUCTIONS, THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 1. THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
 2. THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
 3. THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

| REVISIONS | |
|-----------|-----------------|
| DATE | DESCRIPTION |
| /8/24 | REVISED PLANS. |
| 3/25/24 | REVISED PLANS |
| 5/19/24 | REVISED PLANS. |
| 7/10/24 | REVISED PLANS. |
| 7/17/24 | REVISED PLANS. |
| CT NO. | J-016 |
| ENDED BY | PML |
| ENDED BY | MD |
| | 9/13/23 |
| FILE | J-016 SITE PLAN |
| NO. | |

APPLICANT/DEVELOPER:
LOBISSEUR BUILDING CORP.
1 Charlesview Road • Hopedale, MA 01747
P:(508) 478-6235

T: (303) 473-8233

Upton Apartments

47 Main Street,
Upton Massachusetts

Preliminary
residential Development Plans
comprehensive Permit Application

pton Zoning Board of Appeals

SHEET TITLE

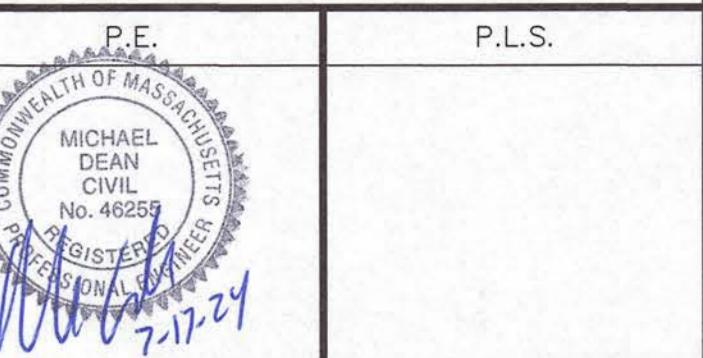
CONSTRUCTION DETAILS

SHEET 3 OF 4

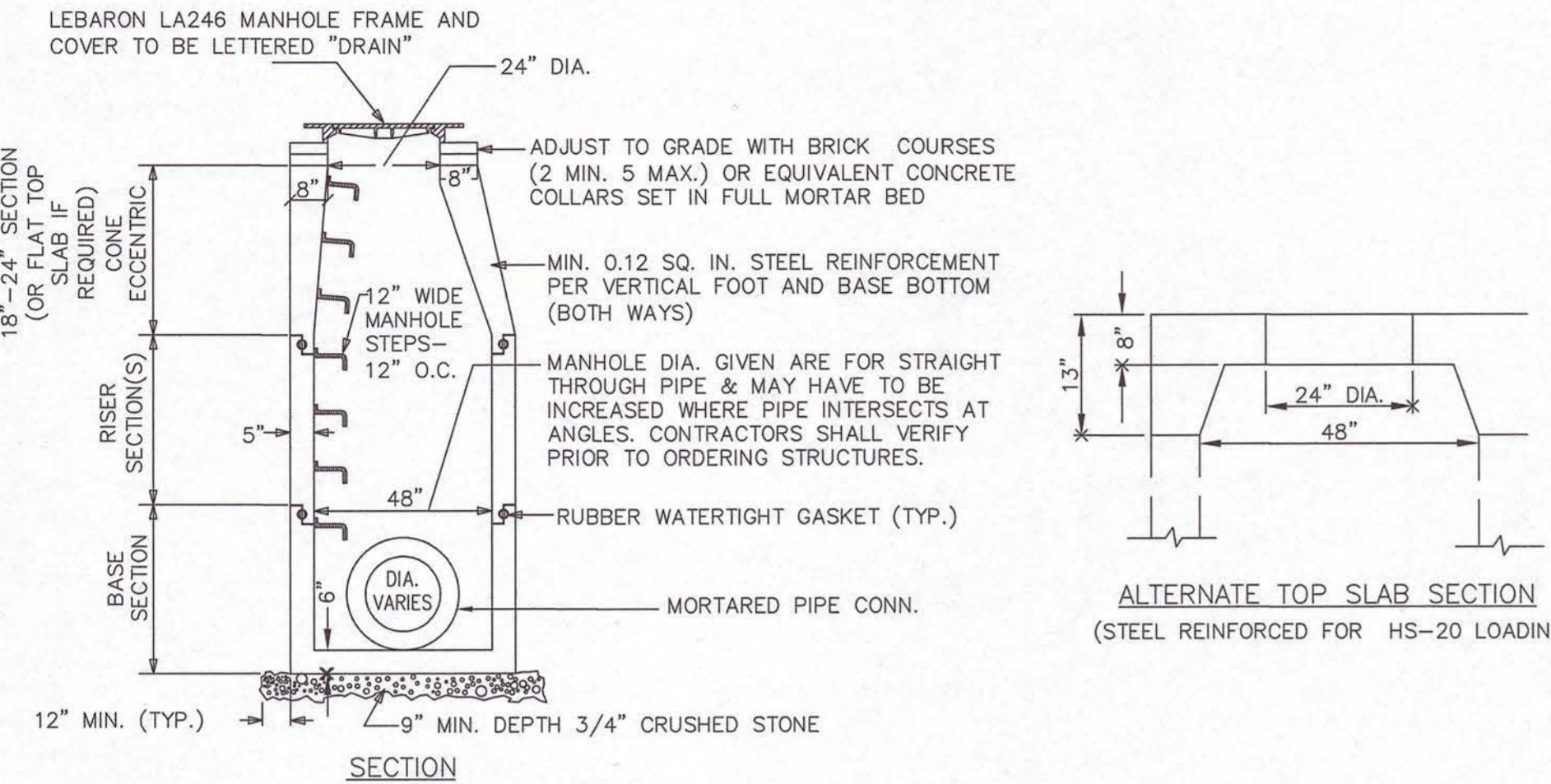
SHEET NO.

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C-7.3

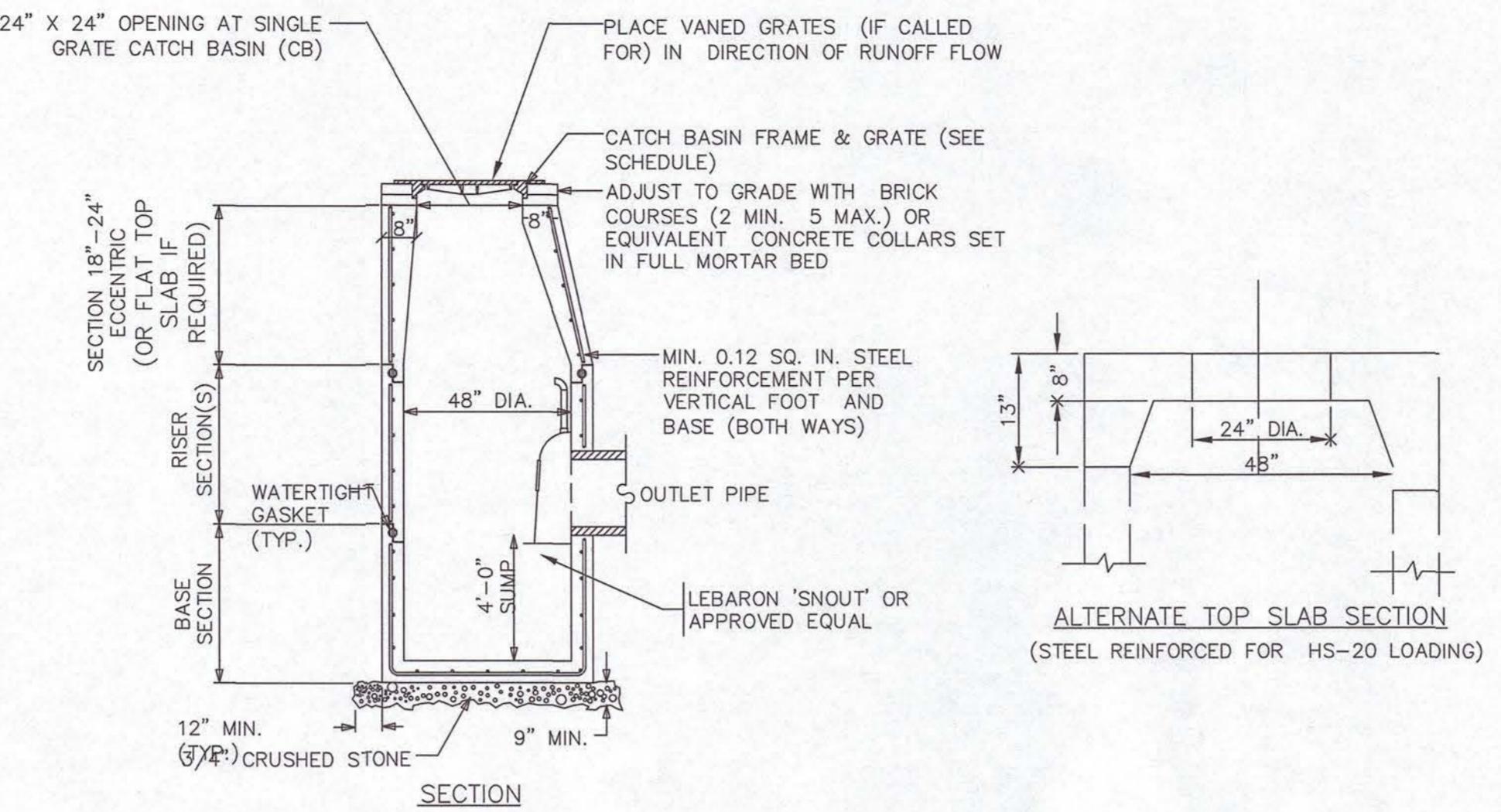


NOTES:
1. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. (0.15 SQ. IN. FOR 60" DIA) AND BASE BOTTOM.
2. CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
3. MANHOLE DESIGN CONFORMS TO LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
4. JOINT SEALANT SHALL BE SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361. 5. BASE SECTION SHALL BE ONE POUR MONOLITHIC.



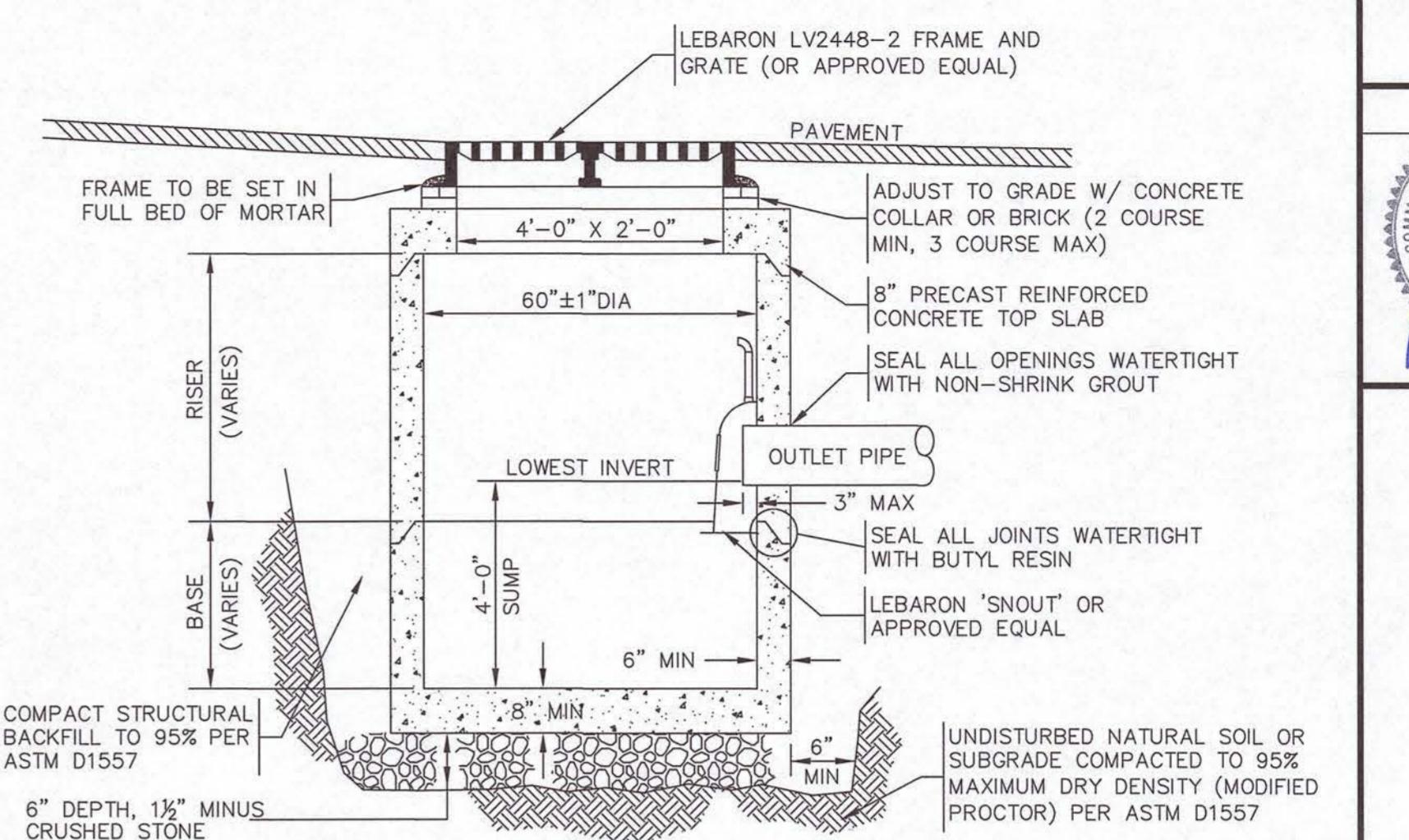
1 PRECAST CONCRETE DRAIN MANHOLE
7.4 N.T.S.

NOTES:
1. USE 4-FLANGE LEBARON LF248-2 GRATES AT ALL CB STRUCTURES.
2. SUBMIT SHOP DRAWINGS FOR APPROVAL.
3. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. (0.15 SQ. IN. FOR 60" DIA) AND BASE BOTTOM.
4. CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
5. JOINT SEALANT SHALL BE SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361.



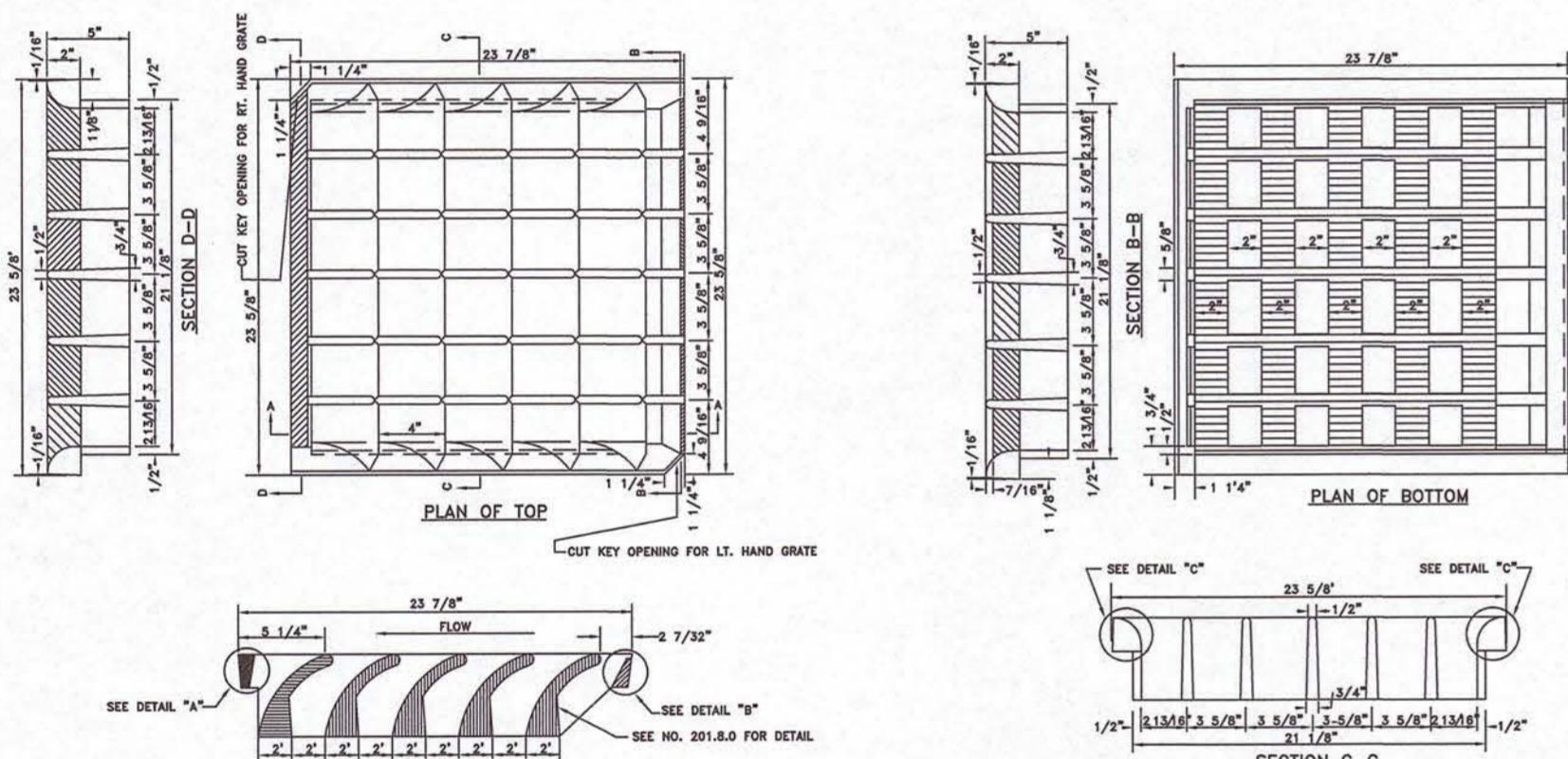
2 PRECAST CONCRETE DEEP SUMP CATCH BASIN
7.4 N.T.S.

NOTES:
1. 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478.
2. REINFORCING PER LATEST ASTM A185.
3. STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.
4. VERIFY FRAME AND GRATE TO SUIT APPLICATION.

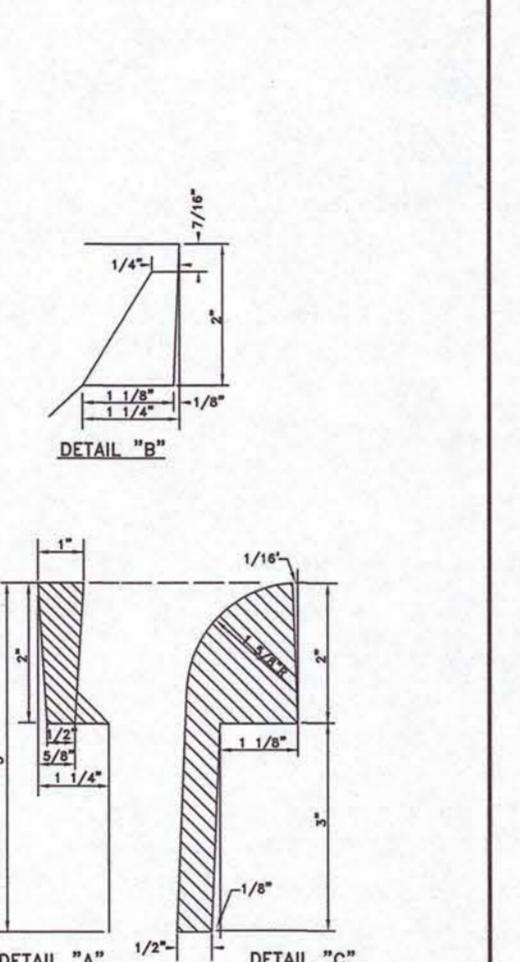


3 PRECAST CONCRETE DOUBLE GRATE DEEP SUMP CATCH BASIN
7.4 N.T.S.

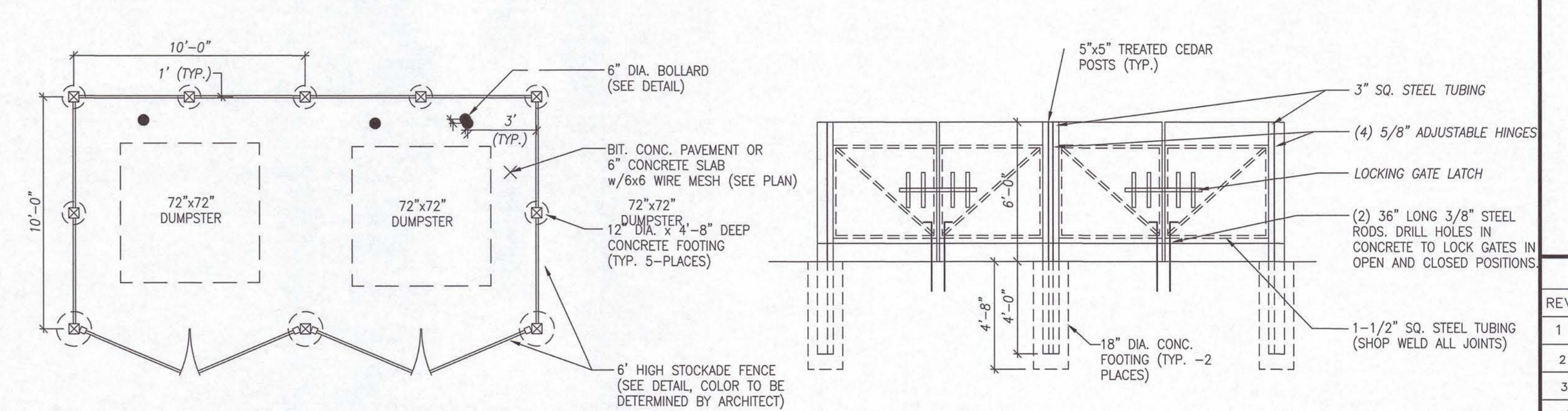
NOTE:
1. CASCADE GRATES ARE REQUIRED WHERE THE ROAD GRADE IS 7% (SEVEN PERCENT) OR GREATER PER SUBDIVISION RULES AND REGULATIONS.



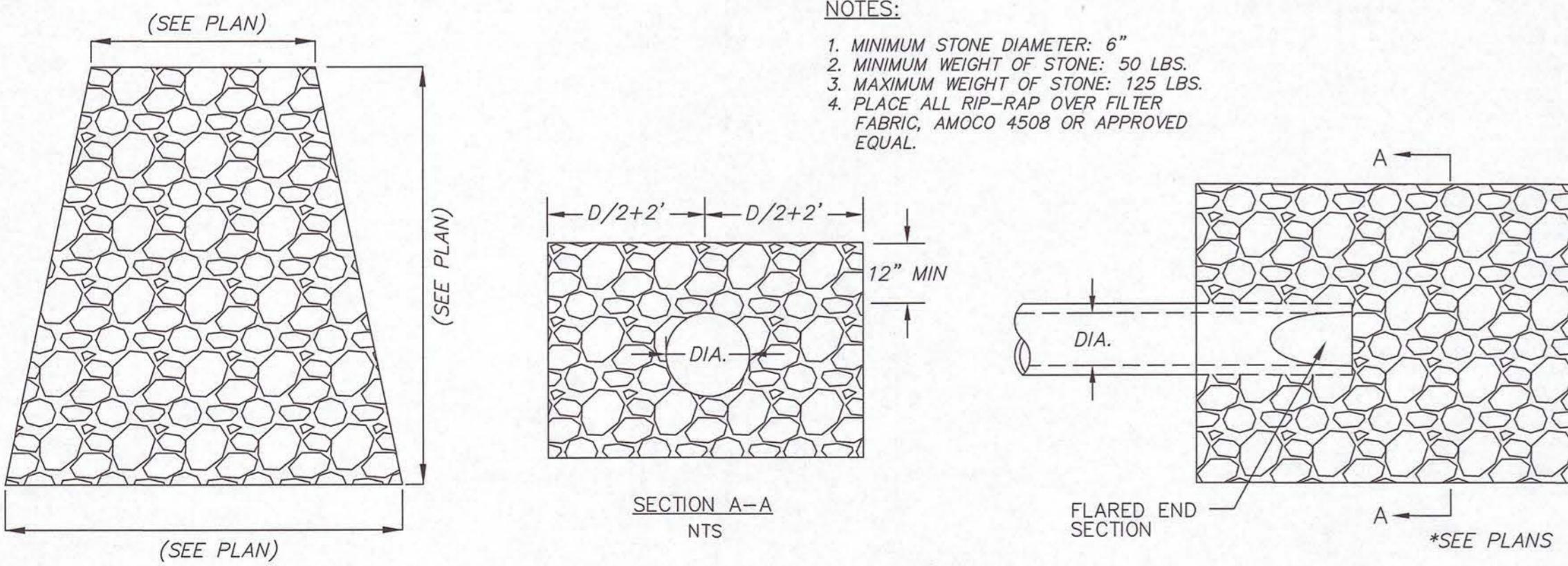
4 CASCADE CATCH BASIN GRATE
7.4 N.T.S.



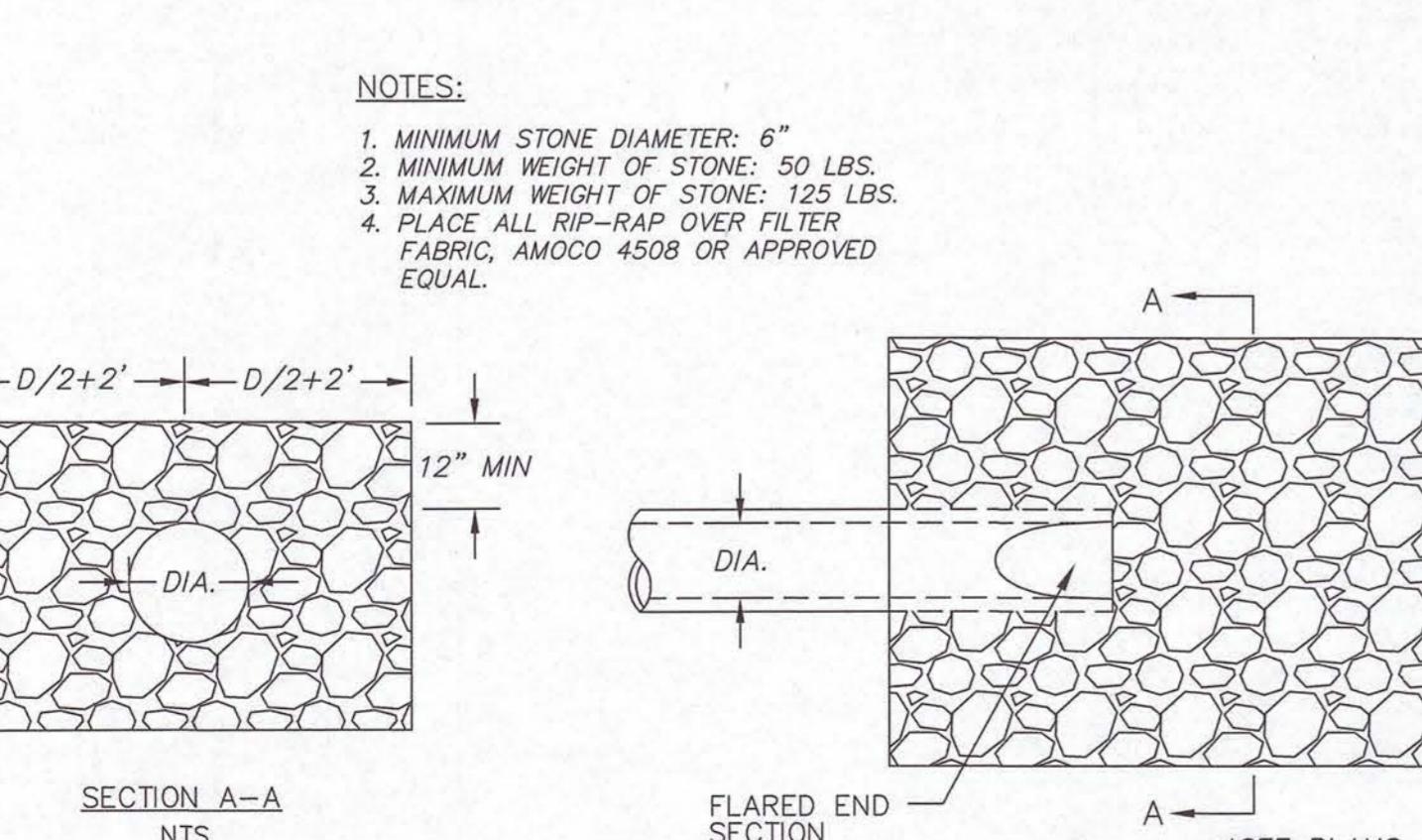
2 PRECAST CONCRETE DEEP SUMP CATCH BASIN
7.4 N.T.S.



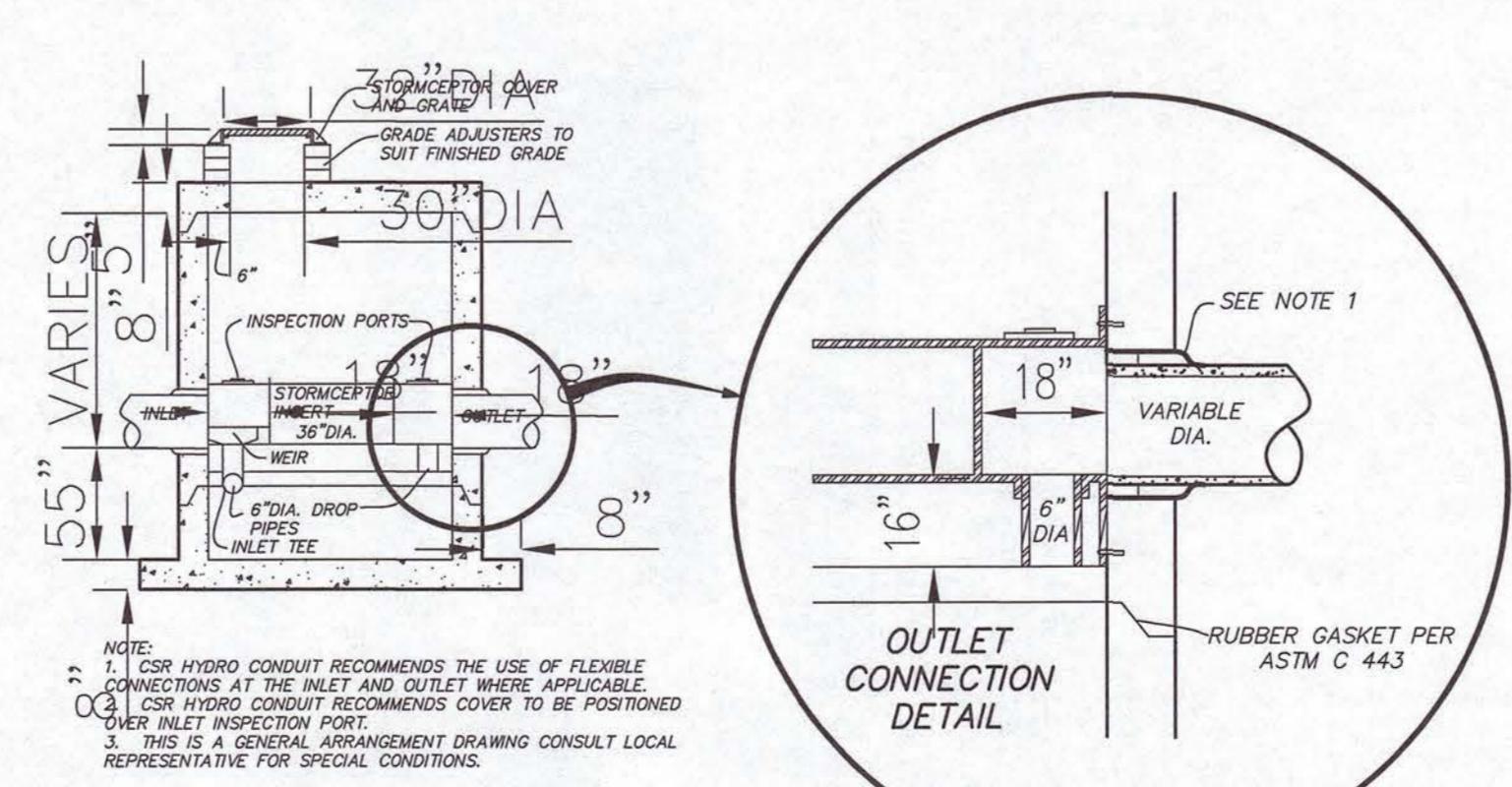
5 TRASH ENCLOSURE
7.4 N.T.S.



TYPICAL OUTFALL RIP-RAP APRON

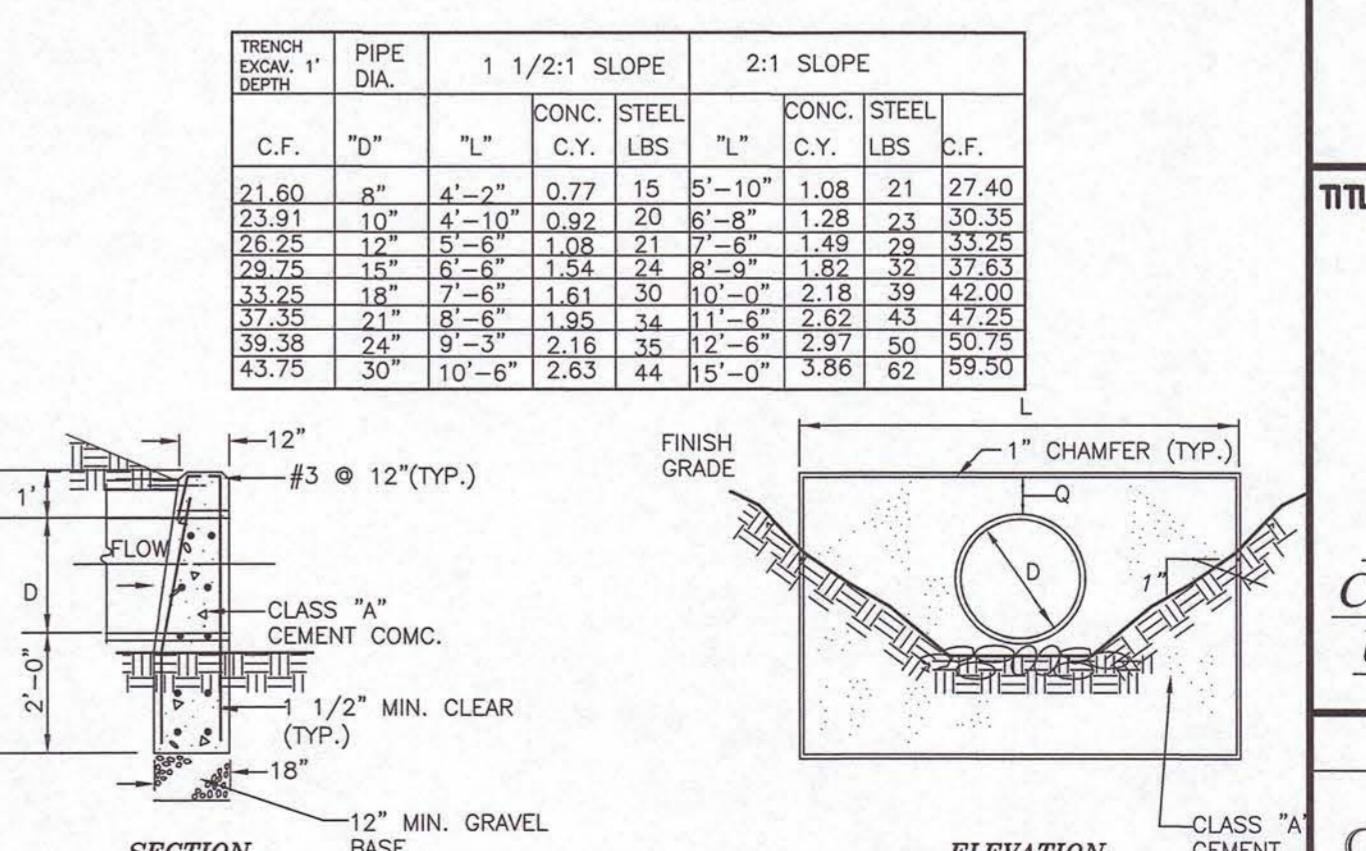


6 STONE RIP-RAP FOR PIPE ENDS
7.4 N.T.S.



7 STC 900 STORMCEPTOR
7.4 N.T.S.

| C.F. | PIPE DIA. | 1 1/2:1 SLOPE | | 2:1 SLOPE | | | | |
|-------|--------------|---------------|-------------------------|-----------|-------------------------|------|----|-------|
| | | "L" | CONC. STEEL C.Y. LBS | "L" | CONC. STEEL C.Y. LBS | | | |
| 21.60 | 8" | 4"-2" | 0.77 | 15 | 5"-10" | 1.08 | 21 | 27.40 |
| 23.91 | 10" | 4"-10" | 0.92 | 20 | 6"-8" | 1.28 | 23 | 30.35 |
| 26.25 | 12" | 5"-6" | 1.08 | 21 | 7"-6" | 1.49 | 29 | 33.25 |
| 28.75 | 15" | 6"-3" | 1.34 | 30 | 8"-6" | 1.82 | 23 | 37.63 |
| 31.25 | 18" | 6"-10" | 1.64 | 30 | 9"-0" | 1.18 | 20 | 40.01 |
| 32.55 | 21" | 8"-6" | 1.95 | 34 | 11"-6" | 2.62 | 43 | 47.25 |
| 37.35 | 24" | 9"-3" | 2.16 | 35 | 11"-6" | 2.97 | 50 | 50.75 |
| 43.75 | 30" | 10"-6" | 2.63 | 44 | 15"-0" | 3.86 | 62 | 59.50 |



8 TYP. CONCRETE HEADWALL DETAIL
7.4 N.T.S.

NOTE: DEBRIS GRATE REQUIRED ON ALL PIPES WITH A DIAMETER GREATER THAN 36"

SHEET 4 OF 4

SHEET NO.

C-7.4

APPLICANT/DEVELOPER:
LOBISSEUR BUILDING CORP.
1 Charlesview Road • Hopedale, MA 01747
P:(508) 478-6235

TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NO.

NOT FOR CONSTRUCTION



UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION IS NOT AVAILABLE. CONTRACTOR IS ADVISED TO LOCATE THESE UTILITIES PRIOR TO EXCAVATION AND (IF AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (1888)344-7233 (1888)344-7233

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

MAIN STREET
ROUTE 140

LANDSCAPING NOTES
1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. PLANT MATERIAL SHALL BE PLANTED IN POTS, CONTAINERS, OR BURLAP IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE MASSACHUSETTS LANDSCAPE ASSOCIATION.
5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE". SHOWING ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. PLANT MATERIAL SHALL BE PLANTED IN A CONTAINER WHICH IS LOCATED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES, AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
9. WHERE SPECIFIED, CUPER SIZE IS TO BE THE CUPER SIZE OF THE TREE SECTION. CUPER SIZE SHALL MEASURE 12" ABOVE THE ROOTBALL.
10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
11. ALL DISTURBED SOIL NOT SHOWN OTHERWISE SHALL BE LOAMED AND SOIL TESTS BLENDED INTO EXISTING GRADE AND CONDITIONS.
12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. THE CONTRACTOR SHALL PAY FOR THIS TEST. THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED.
13. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS GROW 35% JEFFERSON KENTUY BLUEGRASS, 35% CARMEN CHEMING FESCUE AND 30% STALLION FESCUE SEEDS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
14. SLOP SEED MIX SHALL BE THE PREVIOUS YEARS CROP, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE APPROVED EQUAL PLANT. APPROVED EQUAL PLANT FINESEED 50% RYE GRASS 15% JEFFERSON KENTUY BLUE GRASS 10% RED TOP CLOVER 5% AND LADINO CLOVER 5% OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150SF.
15. ALL PLANT MATERIAL SHALL BE PLANTABLE UNTIL IN EXCESS OF 80% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING LEAVES.
16. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM OF ONE INCH OF WATER A WEEK UNLESS SEEDS ARE ACCEPTED AND ACCORDING TO THE PLANTING SCHEDULE IN THIS DRAWING. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
17. WITHIN THE DETENTION BASIN AND ON TOP OF THE SEPTIC SYSTEM LEACH FIELD, SEED MIX AND PLANTABLE SEED MIX FROM NEW ENGLAND WETLAND PLANT INC. PLANT AT A RATE OF ONE POUND PER 1,750SF.
18. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 500 LBS. PER ACRE. THE HYDRO SEED SLURRY IS TO BE APPLIED IN TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
19. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
20. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PANTING, THE CONTRACTOR SHALL PLANT, FIRM THE SOIL, AND SET THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. LESS THAN ONE INCH OF RAIN WHICH OCCURS DURING THE DAY IS EQUIVALENT TO ONE INCH OF RAIN. PLANTS MUST BE WATERED, LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS, ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN OVER TEN GALLONS OF WATER, WHICH IS EQUIVALENT TO TWO GALLONS IN A 20"-24" ROOT BALL, AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
21. NO HEMLOCK, PINE, SPRUCE, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION. NO HEMLOCK, PINE, SPRUCE, OR CEDAR MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION. 22. LANDSCAPE AREAS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
23. LANDSCAPE AREAS SHALL BE DEEPLY TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

MAP 202, PARCEL 107
51 MAIN STREET

MAP 201, PARCEL 194
11 WHITNEY LN

MAP 201, PARCEL 193
13 WHITNEY LN

WHITNEY LANE

| Planting Schedule | | | | |
|-------------------|-----|------------------------|----------------|---------|
| Qty. | Key | Common Name | Size | Remarks |
| 27 | MT | Maple tree | 2 1/2"-3" Cal. | B&B |
| 8 | WP | White Pine | 6-7' | B&B |
| 90 | GA | ARBORVITAE | 6-7' | B&B |
| 15 | HA | HYDRANGEA | 2 1/2"-3" Cal. | B&B |
| 3 | DT | Dogwood Tree | 2 1/2"-3" Cal. | B&B |
| 46 | MS | Mixed Shrubs & Grasses | 2 1/2"-3" Cal. | B&B |

MAP 201, PARCEL 192
15 WHITNEY LN

MAP 201, PARCEL 191
17 WHITNEY LN

MAP 201, PARCEL 190
19 WHITNEY LN

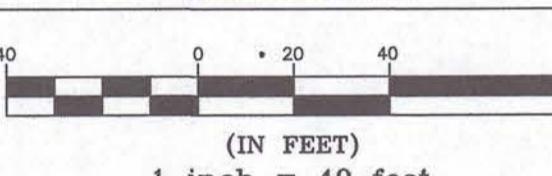
MAP 201, PARCEL 188
21 HAZELTINE RD

MAP 201, PARCEL 187
23 HAZELTINE RD

D&L Design Group
Civil Engineering & Land Surveying
115 Water Street • Milford, MA 01757
(508) 408-2577
www.dandldesigngroup.com

P.E. P.L.S.
MICHAEL DEAN CIVIL NO. 4625
RE-REGISTERED 11-24

GRAPHIC SCALE



REVISIONS

| REV. | DATE | DESCRIPTION |
|------|---------|----------------|
| 1 | 1/8/24 | REVISED PLANS. |
| 2 | 3/25/24 | REVISED PLANS |
| 3 | 5/19/24 | REVISED PLANS. |
| 4 | 7/17/24 | REVISED PLANS. |

PROJECT NO.

J-016

DESIGNED BY

PML

CHECKED BY

MD

DATE

9/13/23

CAD FILE

J-016 SITE PLAN

PLAN NO.

J-016

APPLICANT/DEVELOPER:
LOBISSEUR BUILDING CORP.

1 Charlesview Road • Hopedale, MA 01747
(508) 478-6235

TITLE:

Upton Apartments

47 Main Street,
Upton Massachusetts
Preliminary

Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE

LANDSCAPE
PLAN

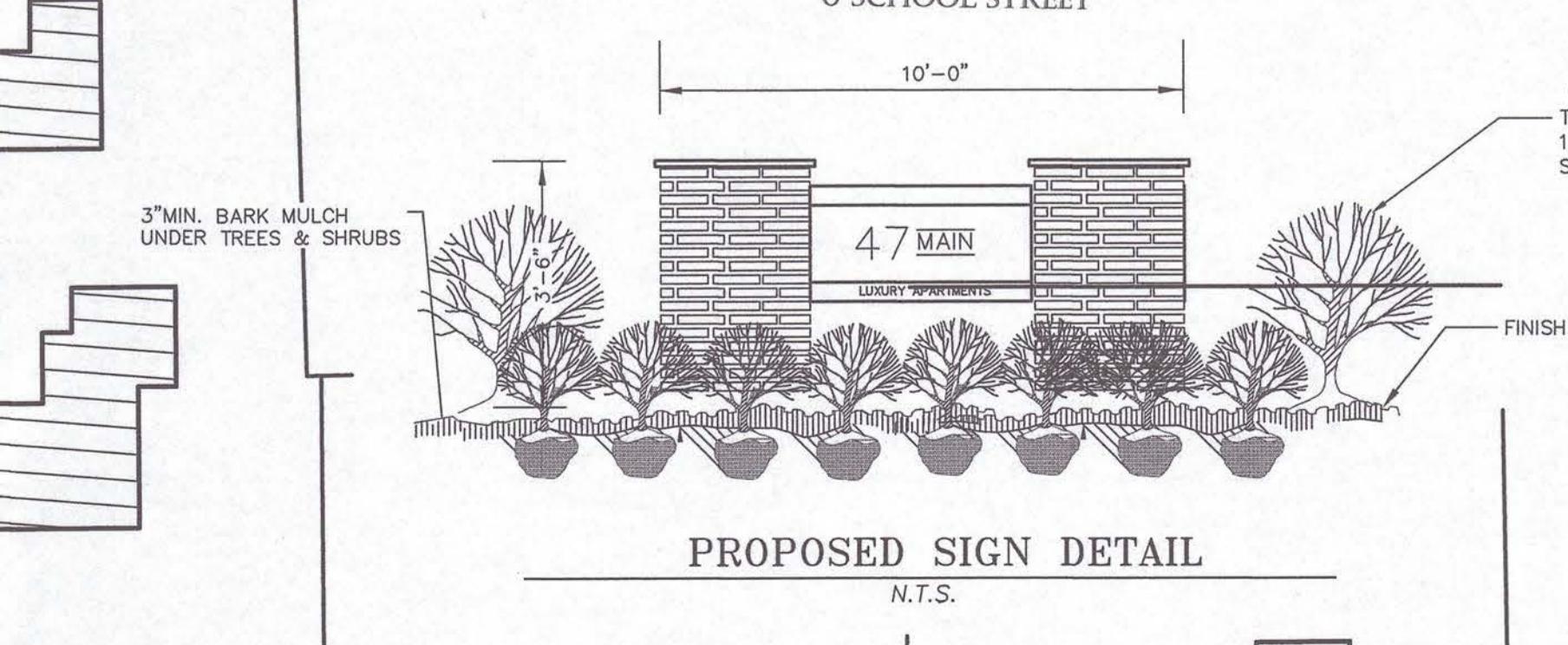
SHEET NO.

C-8.0

MAP 201, PARCEL 131
4 SCHOOL STREET

MAP 201, PARCEL 132
6 SCHOOL STREET

MAP 201, PARCEL 134
0 SCHOOL STREET



PROPOSED SIGN DETAIL

N.T.S.

ARBORIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE, 3" WIDE, 900 LB. BREAK STRENGTH. ARBORIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE. CUT AND REMOVE BURLAP FROM TOP OF ROOTBALL. LOOSEN SUPPORTS AFTER 1st GROWING SEASON; REMOVE AFTER 2nd GROWING SEASON. DO NOT TRIM LEADER SET TREE PLUMB PRIOR TO GUYING; ORIGINAL GRADE OF TREE BASE TO BE PLANTED SLIGHTLY HIGH (2.5"-3") ABOVE EXISTING GRADE TO ALLOW FOR SETTLEMENT. PLANTING SOIL MIX AND LEAF COMPOST WATER & TAMP TO REMOVE AIR POOTS EXISTING SOIL SCARIFY PIT BOTTOM. 1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT. 2. PLANT SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. 3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES. 4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL. 5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOTBALL. 6. LOOSEN ROOTBALL PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING
NOT TO SCALE

ARBORIE nailed to stake
Fold ends of ArborTie bd. Secure to stake with 1" galvanized roofing nail or use a knot or ArborTie
ARBORIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE, 3" WIDE, 900 LB. BREAK STRENGTH. ARBORIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE. LOOSEN SUPPORTS AFTER 1st GROWING SEASON; REMOVE AFTER 2nd GROWING SEASON. DO NOT TRIM LEADER SET TREE PLUMB PRIOR TO GUYING; ORIGINAL GRADE OF TREE BASE TO BE PLANTED SLIGHTLY HIGH (2.5"-3") ABOVE EXISTING GRADE TO ALLOW FOR SETTLEMENT. PLANTING SOIL MIX AND LEAF COMPOST WATER & TAMP TO REMOVE AIR POOTS EXISTING SOIL SCARIFY PIT BOTTOM. 1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT. 2. PLANT SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. 3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES. 4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL. 5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOTBALL. 6. LOOSEN ROOTBALL PRIOR TO PLANTING.

EVERGREEN TREE PLANTING
NOT TO SCALE

