

DRAIN MANHOLE #1

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS
3	5/19/24	REVISED PLANS.
4	6/10/24	REVISED TRENCH DETAIL.
5	7/17/24	REVISED PLANS.

PROJECT NO.	J-016
DESIGNED BY	PML
CHECKED BY	MD
DATE	9/13/23
CAD FILE	J-016 SITE PLAN
PLAN NO.	

APPLICANT/DEVELOPER:
LOBISSER BUILDING CORP.
1 Charlesview Road • Hopedale, MA 01747
P: (508) 478-6235

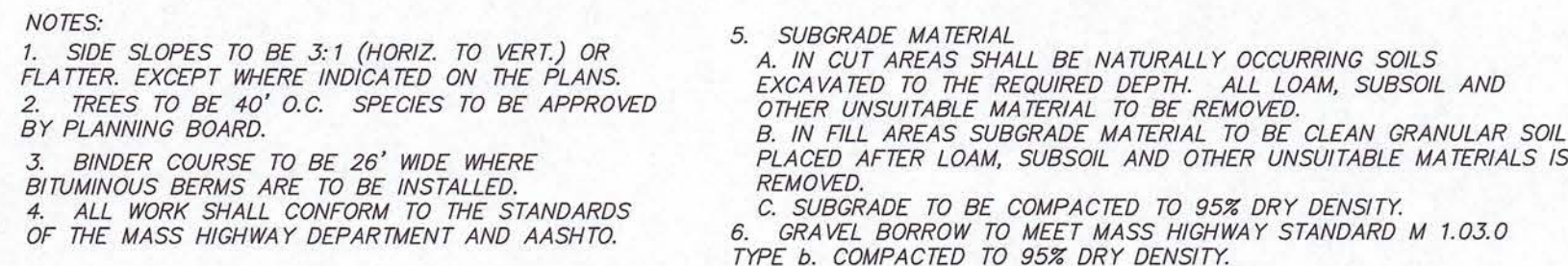
TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
CONSTRUCTION DETAILS

SHEET 1 OF 4

SHEET NO.

C-7.1

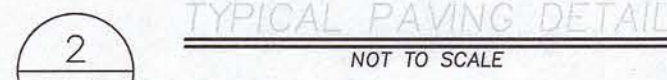


NO SCALE



GUARDRAIL DETAIL

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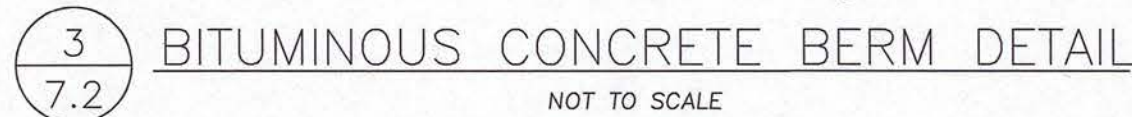
TYPICAL PAVING DETAIL

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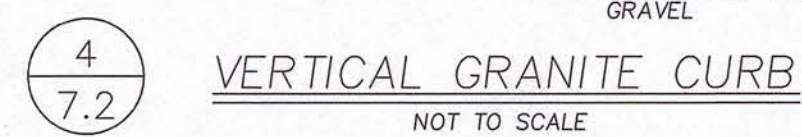
UNDERDRAIN DETAIL

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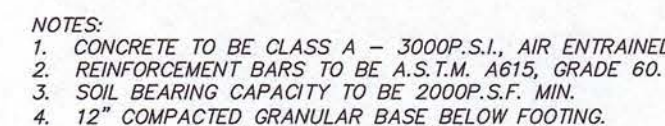


BITUMINOUS CONCRETE BERM DETAIL

NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE




CONCRETE RETAINING WALL DETAIL
NOT TO SCALE

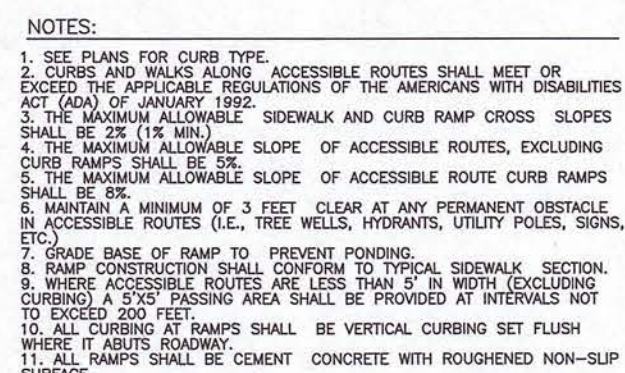
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TYPICAL SECTION—REINFORCED RETAINING WALL
MODULAR CONCRETE UNIT
SCALE: NONE

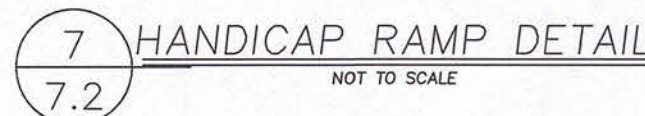
3. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
4. BENCH CUT ALL EXCAVATED SLOPES.
5. DO NOT EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
6. SITE SOILS ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT TO SUPPORT DESIGN STANDARD LOADS.
7. LEVELING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL, 6" THICK MIN.
8. MECHANICAL KEY FOR A LEAN CONCRETE PAD, CONCRETE PAD SHALL BE UNREINFORCED, 3" THICK MAXIMUM.
9. MINIMUM EMBEDMENT OF WALL, BELOW FINISH GRADE SHALL BE 6" FOR WALL HIGHER THAN 4 FEET.
10. MINIMUM EMBEDMENT OF WALL, BELOW FINISH GRADE 4 FT. UNLESS SHOWN DIFFERENTLY.
11. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPLETED.
12. DRILL AND AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL.
13. PROCTOR DENSITY OF 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698)
14. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
15. ALL WALLS SHALL BE CONSTRUCTED WITHIN 10' OF THE EXISTING EQUIPMENT.
16. SEE ELEVATION DRAWINGS FOR GEOSYNTHETIC TYPE, LENGTH AND LOCATION REQUIRED.
17. ALL WALLS SHALL BE CONSTRUCTED WITHIN 10' OF THE EXISTING EQUIPMENT.
18. ALL WALLS SHALL BE CONSTRUCTED WITHIN 10' OF THE EXISTING EQUIPMENT.
19. TO WALL FOLLOW GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
20. ALL WALLS SHALL BE CONSTRUCTED WITHIN 10' OF THE EXISTING EQUIPMENT.
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IF CONDITIONS ARE DIFFERENT THAN THOSE STATED
IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR
MUST CONTACT ENGINEER PRIOR TO PROCEEDING WITH
THE CONSTRUCTION OF THE WALL.



7 HANDICAP RAMP DETAIL
7.2 NOT TO SCALE

NOT TO SCALE



7.2 HANDICAP RAMP DETAIL
NOT TO SCALE

REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS
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4	7/17/24	REVISED PLANS.

CAD FILE	J-016 SITE PLAN
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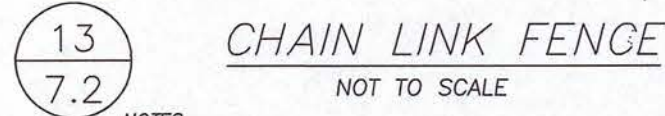
TITLE:

Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

CONSTRUCTION DETAILS

SHEET NO.

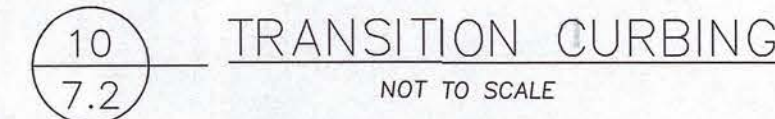
C-7.2



CHAIN LINK FENCE
NOT TO SCALE



STOP SIGN
NOT TO SCALE



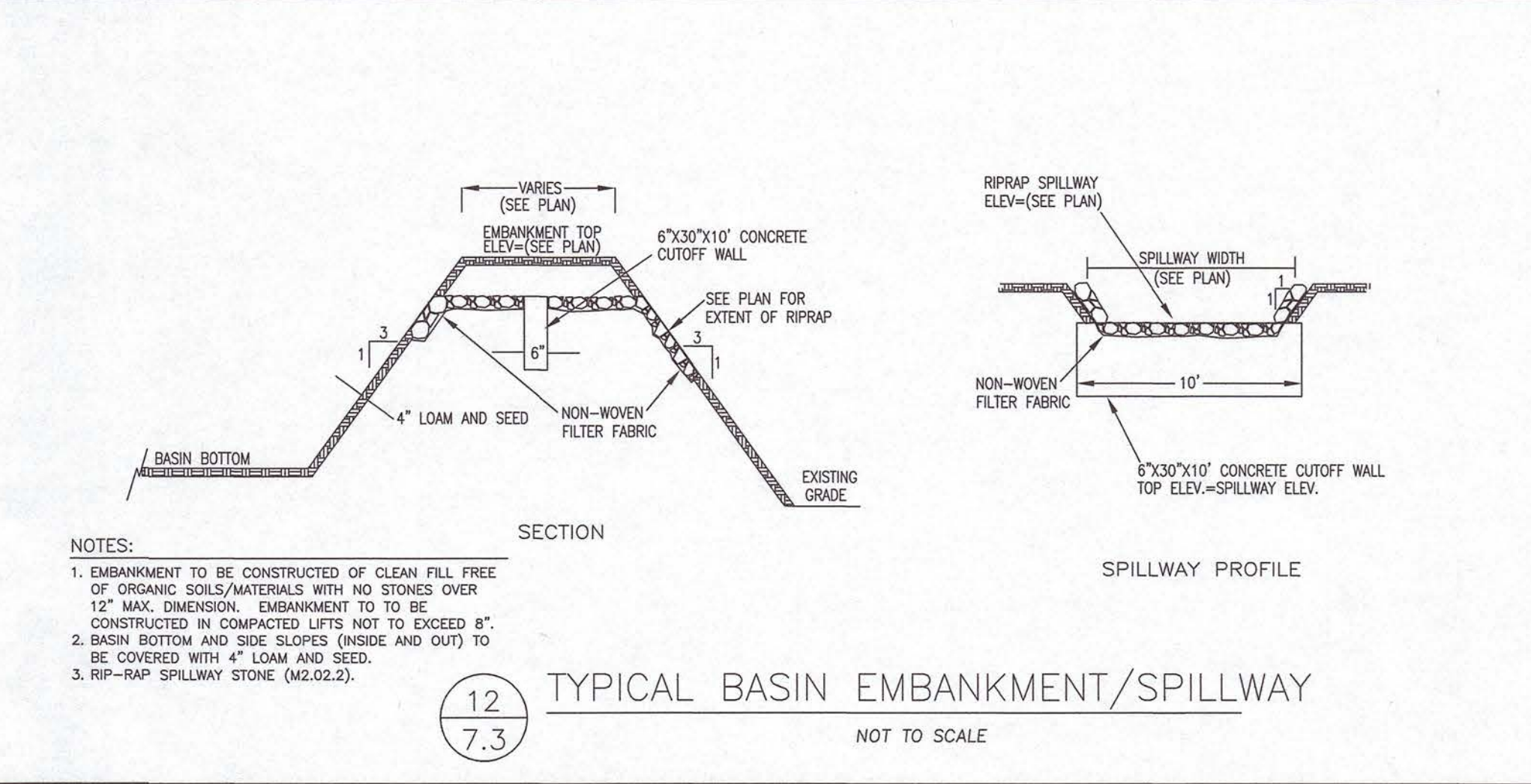
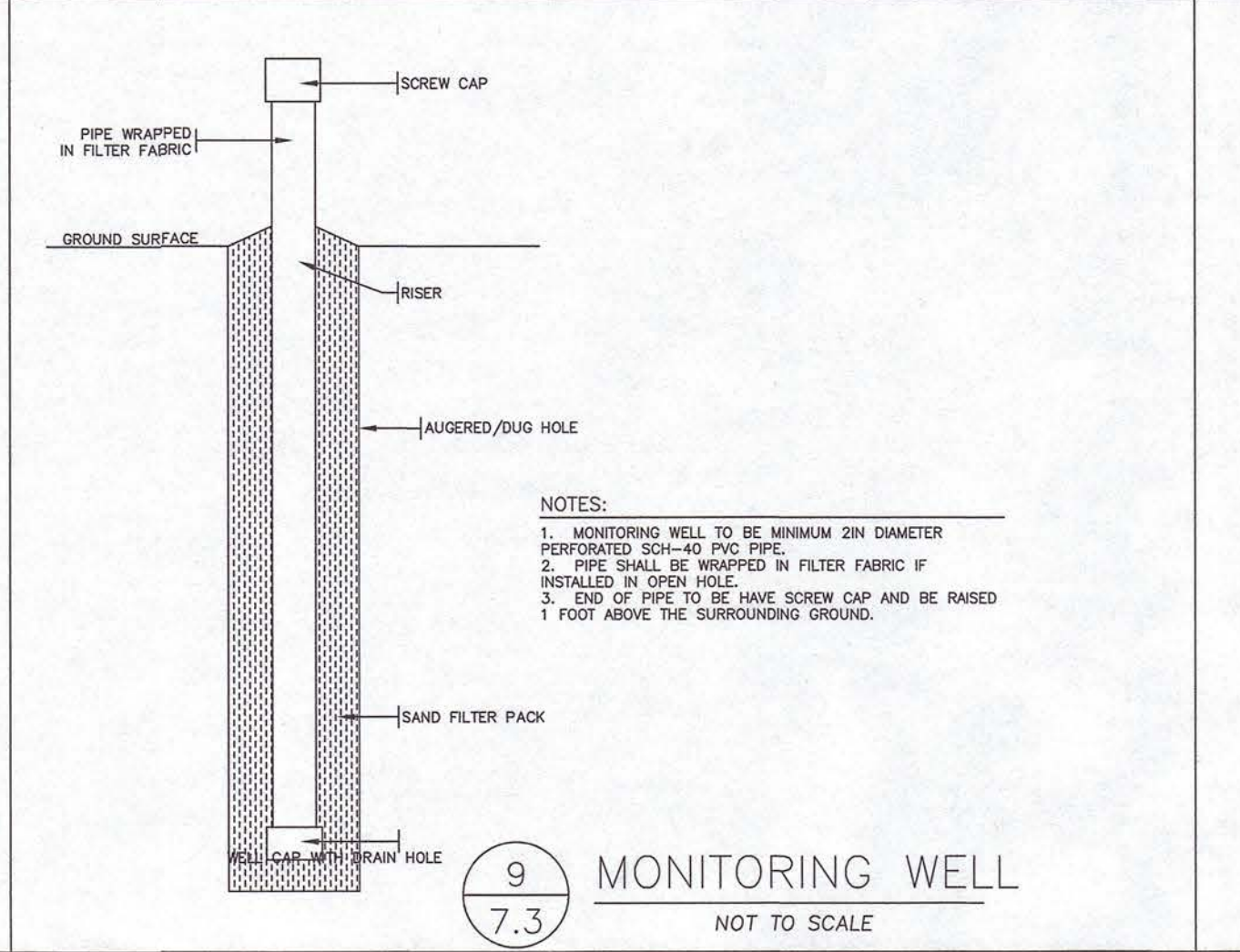
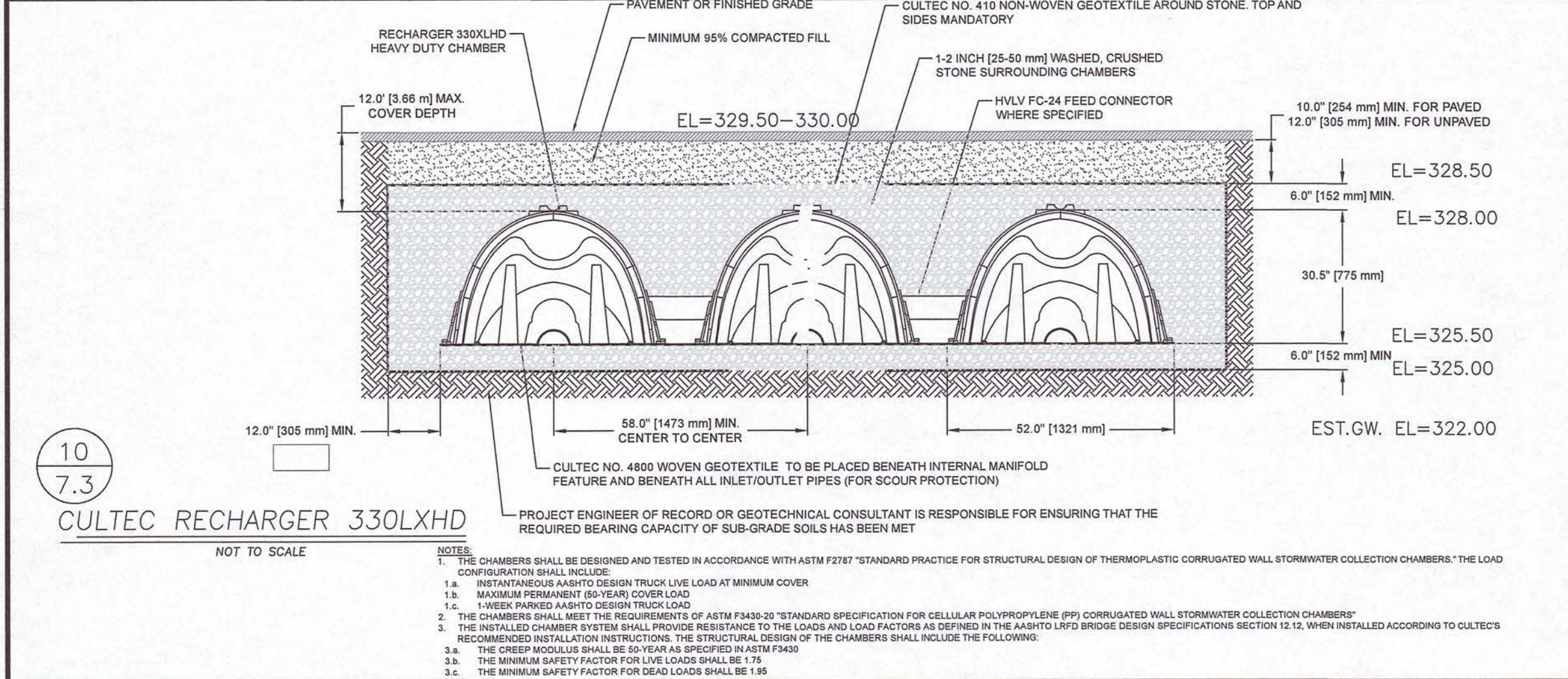
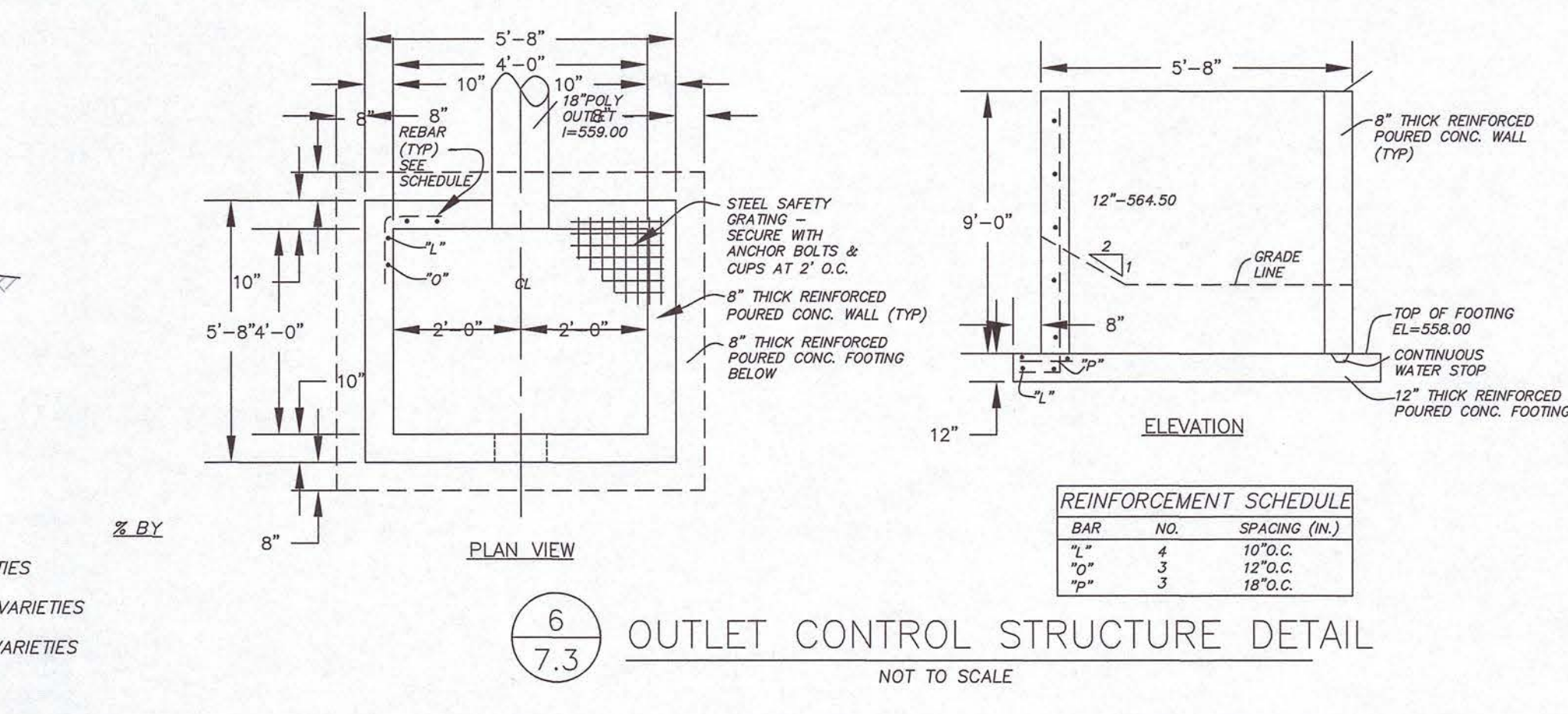
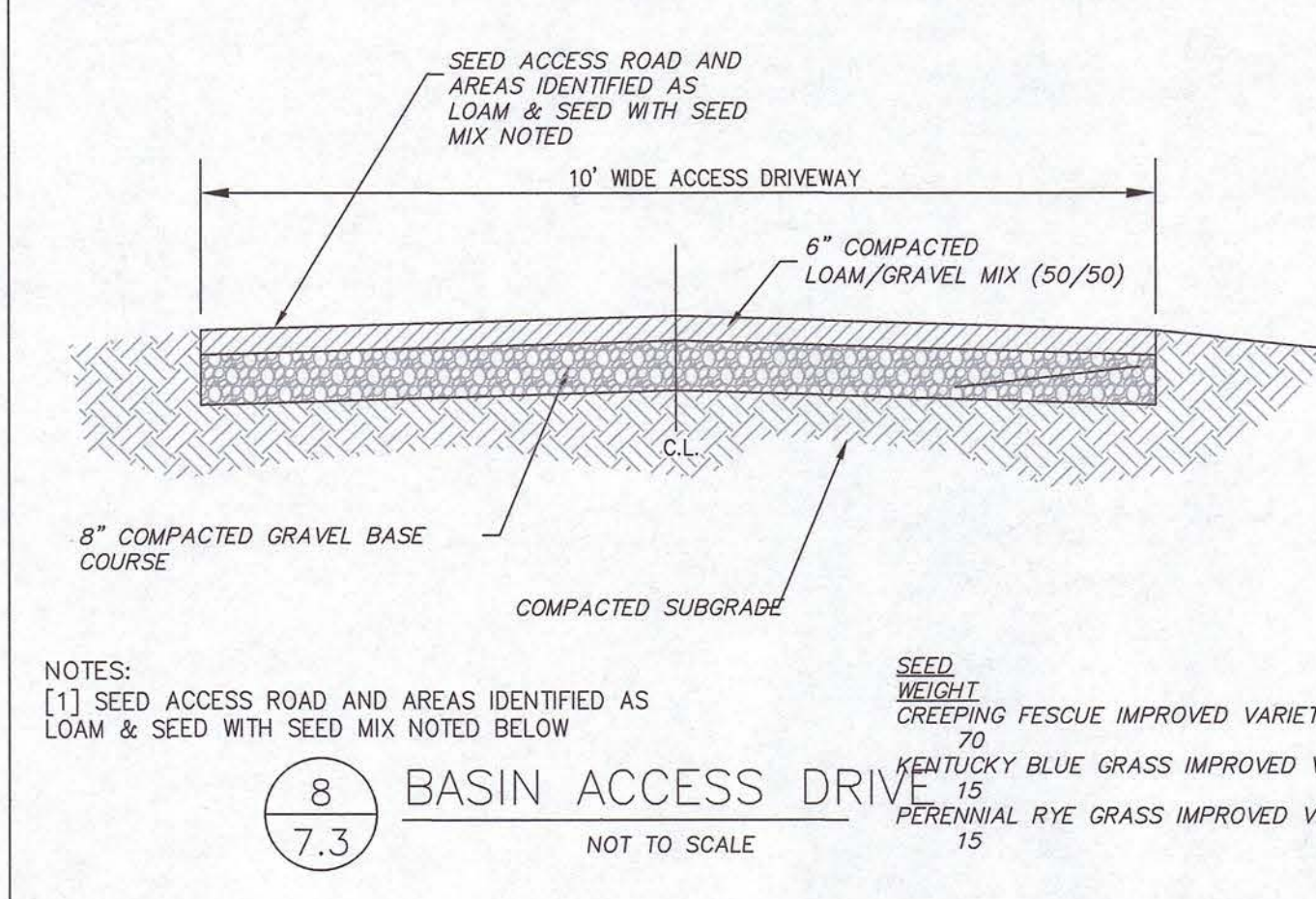
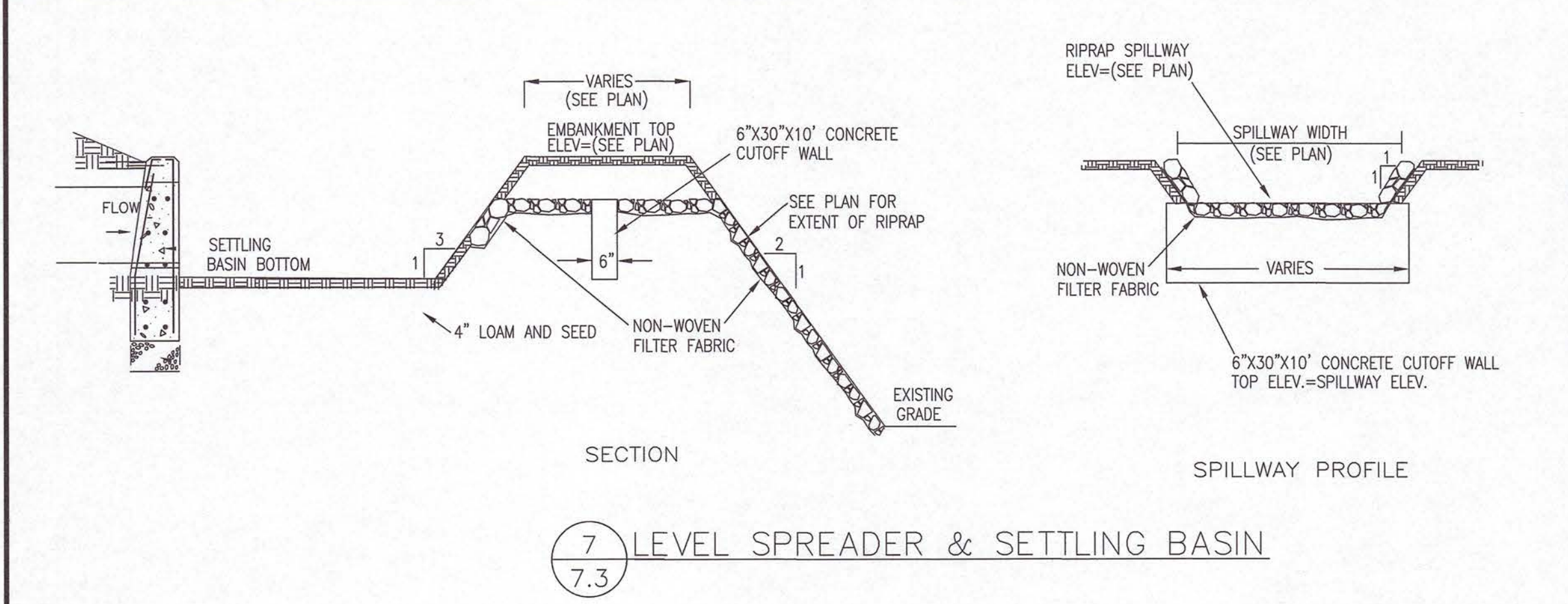
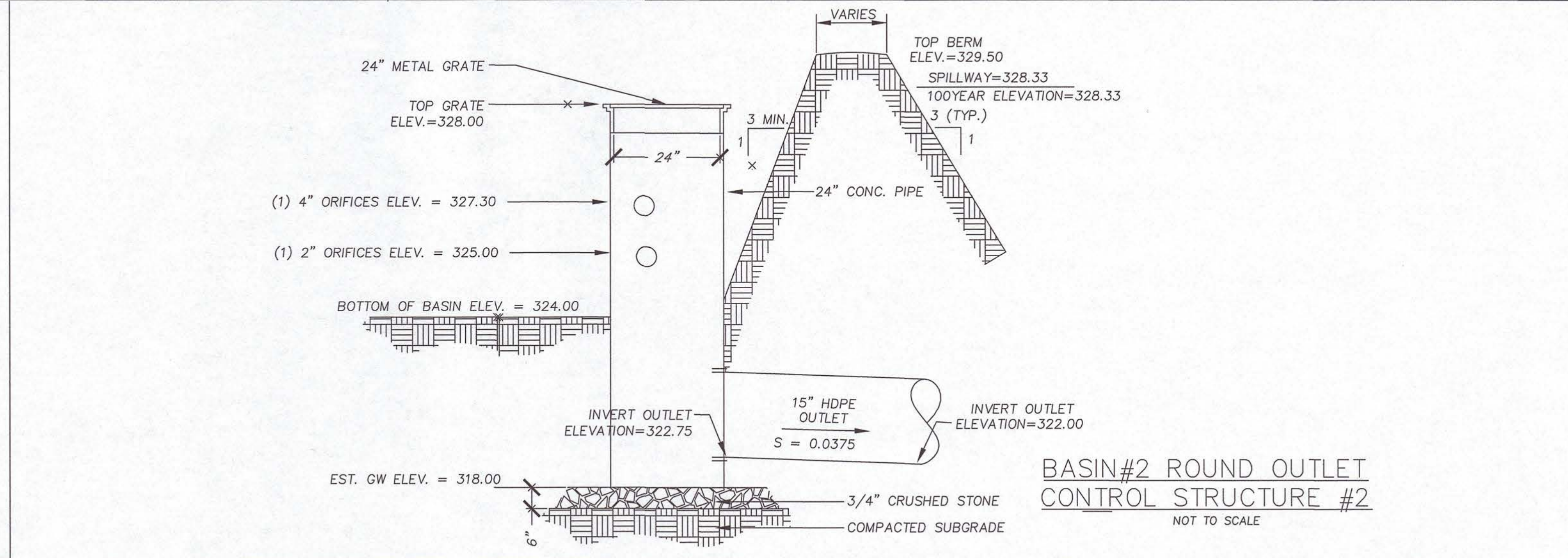
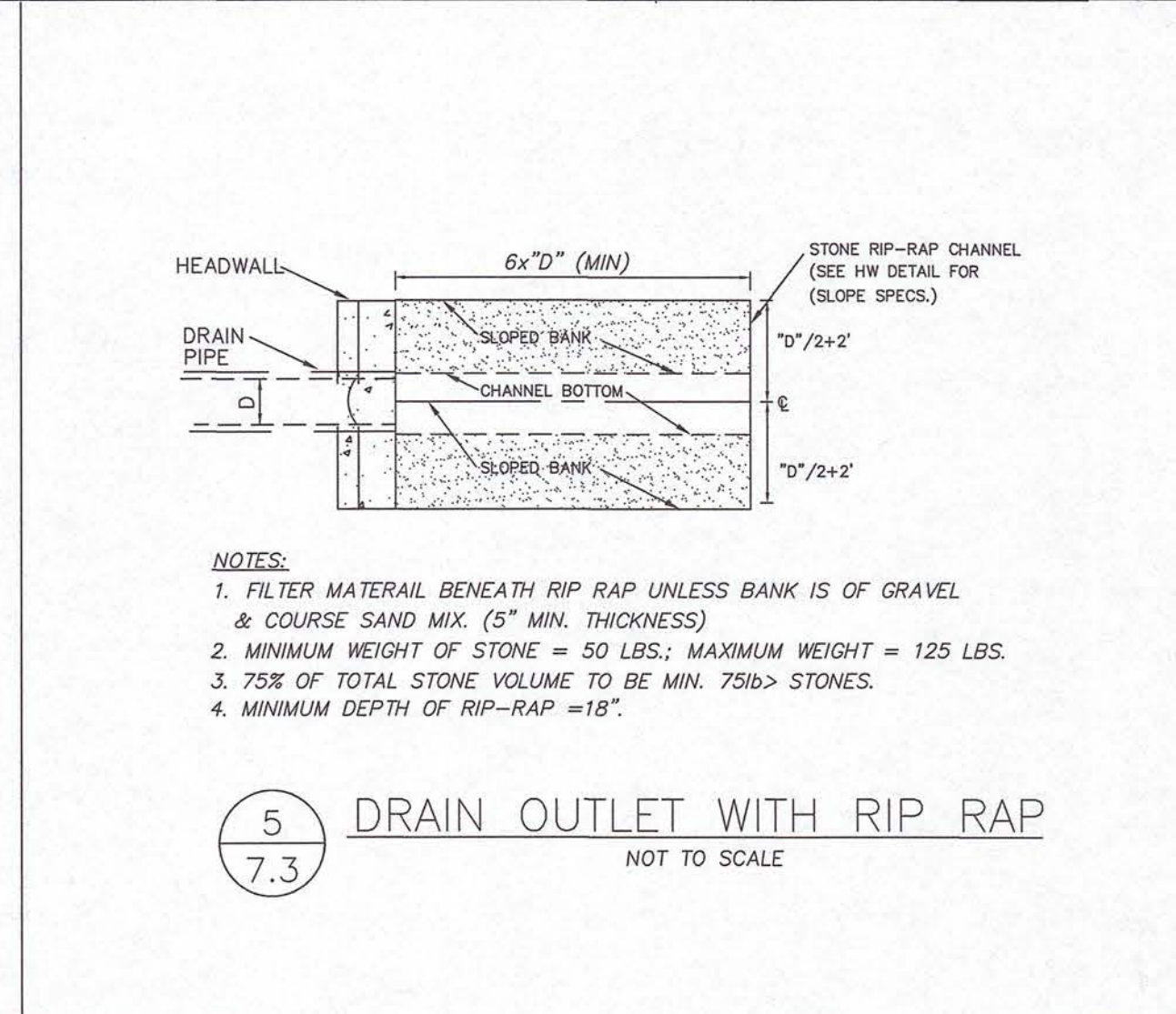
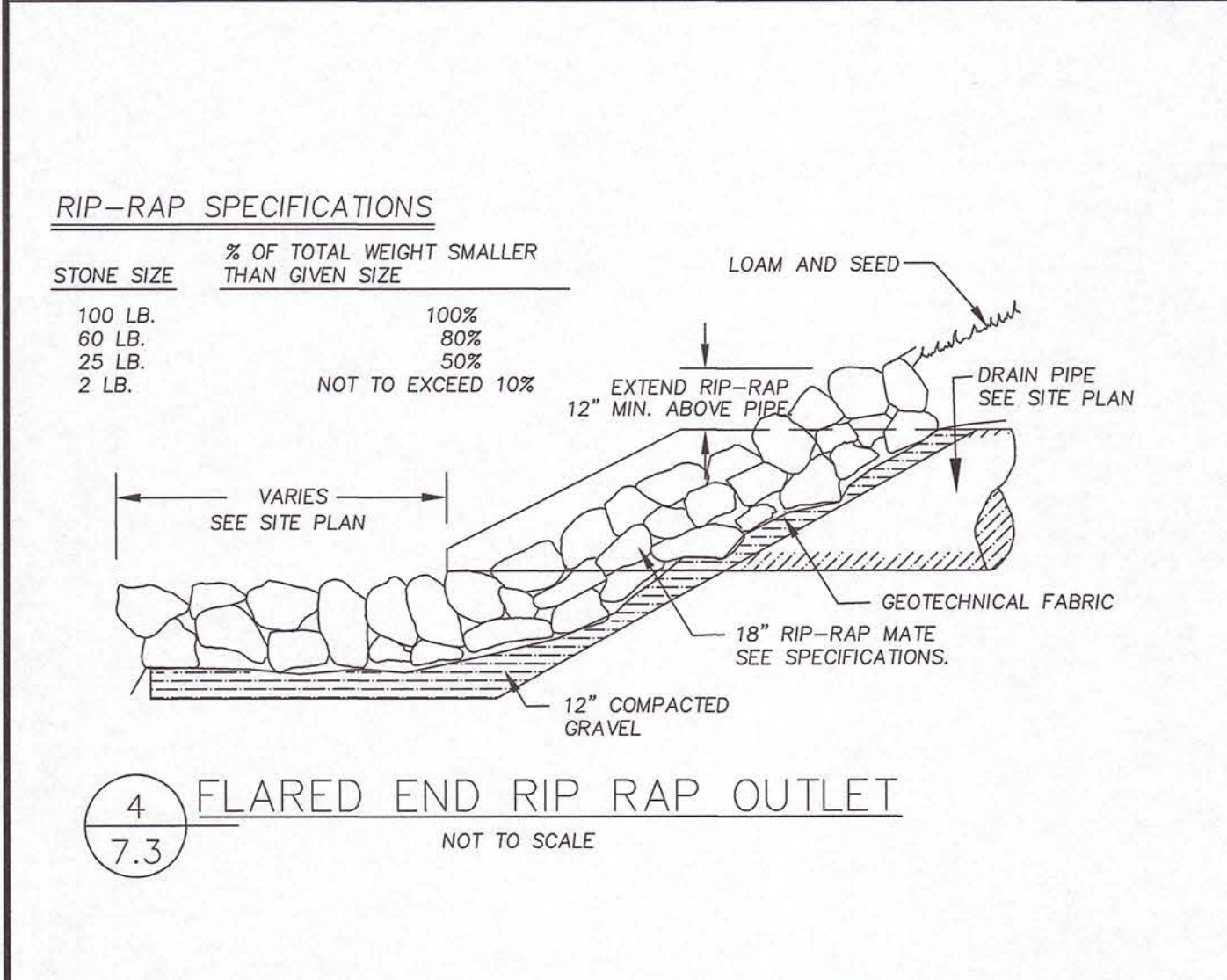
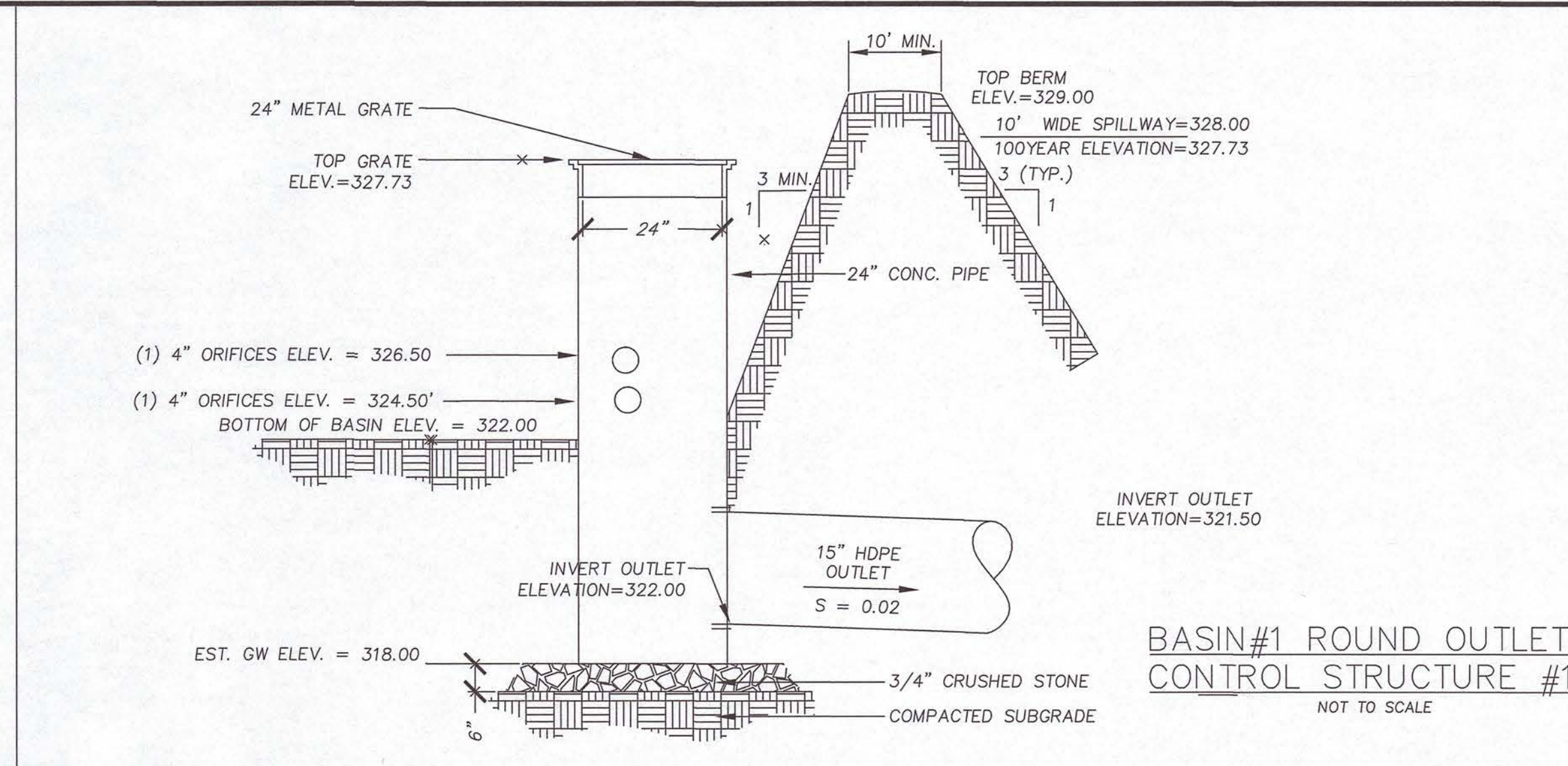
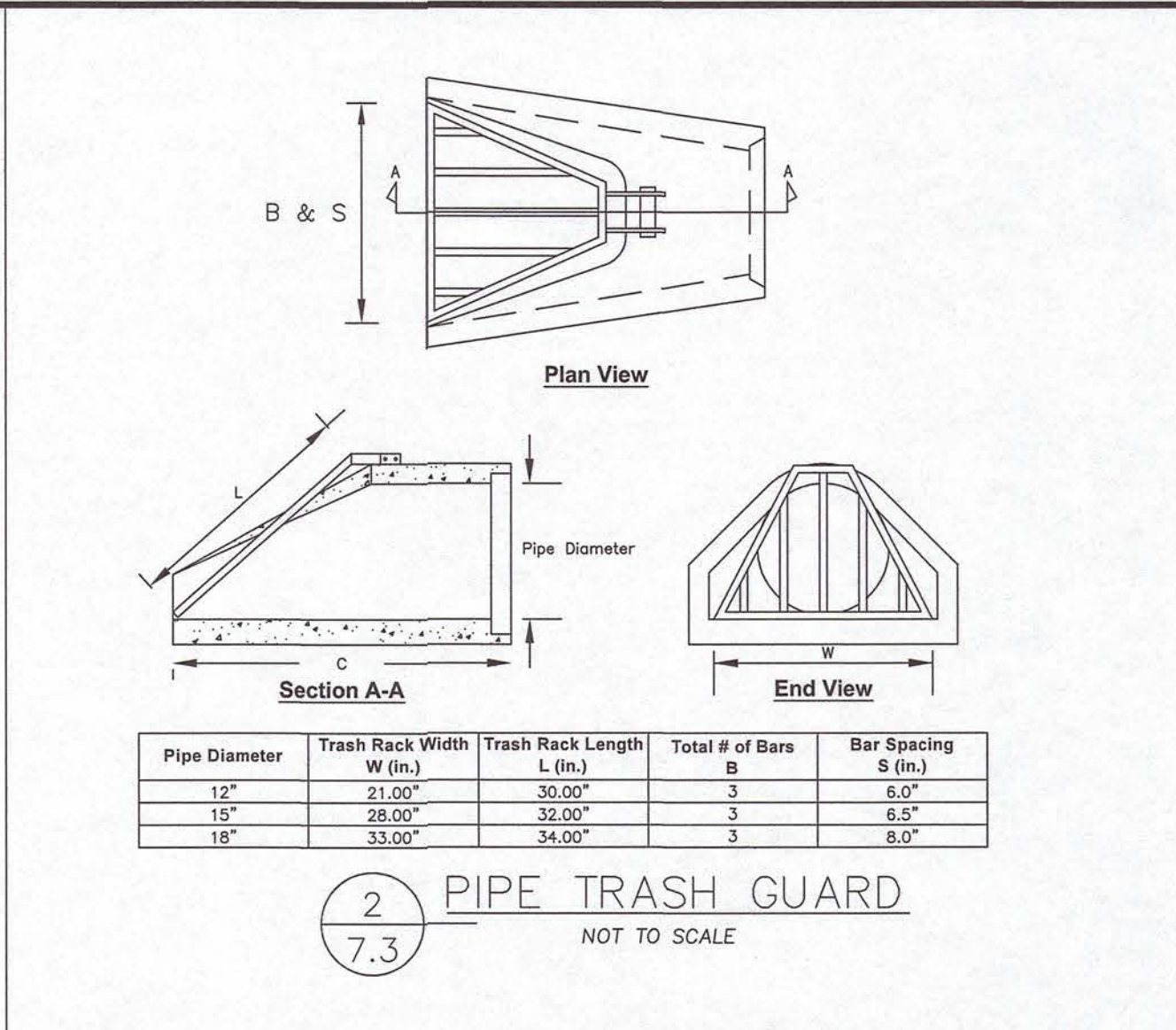
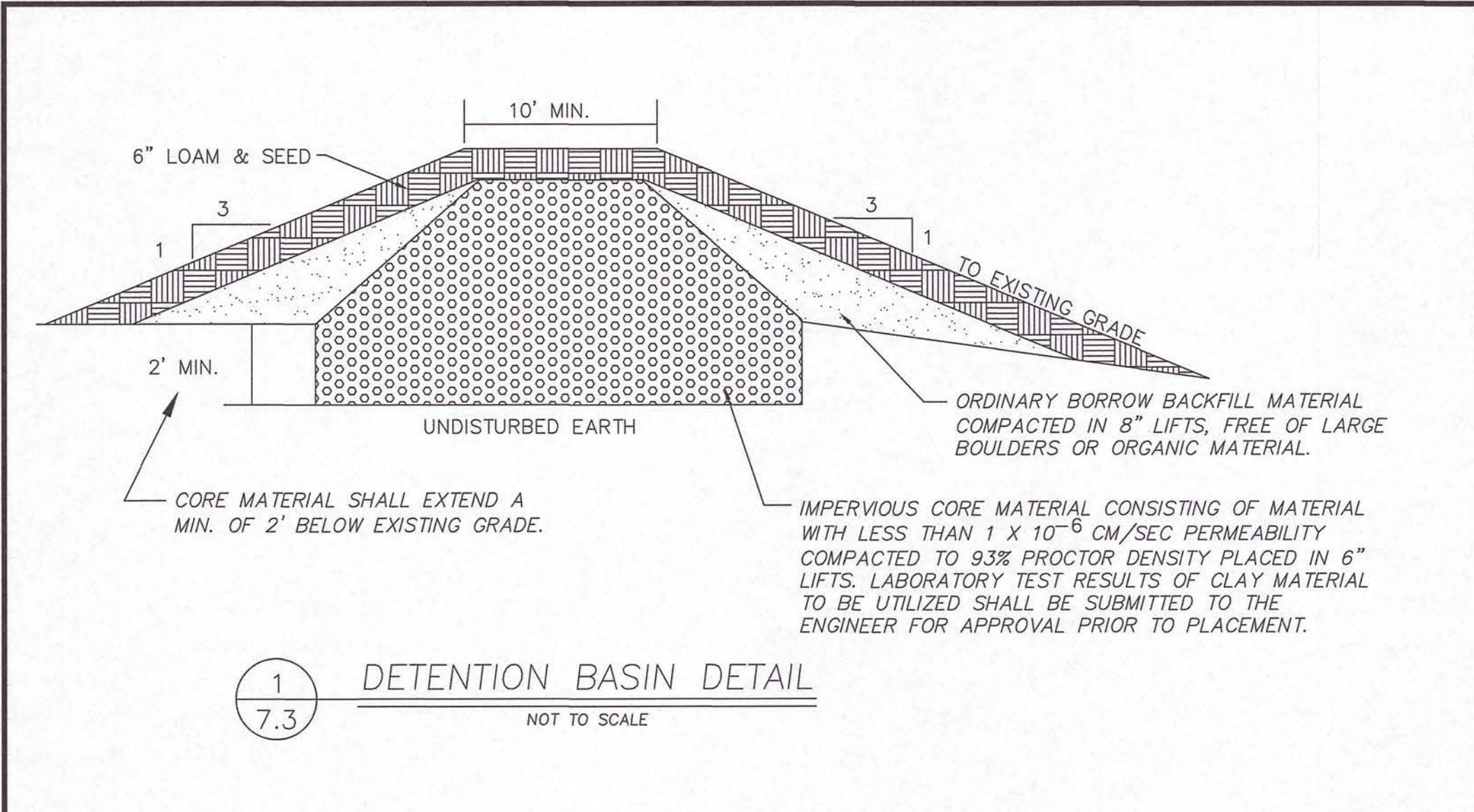
TRANSITION CURBING
NOT TO SCALE



GRANITE BOUND

NOTES:

1. BOUNDS FOR FRONT YARD CORNERS AND STREET LAYOUT POINTS SHALL BE 48" IN LENGTH AND SET WITH THE TOP OF THE BOUND FLUSH WITH THE FINISH GRADE.
2. BOUNDS FOR SUBDIVISION PERIMETER SHALL BE 48" IN LENGTH AND SET WITH THE TOP OF THE BOUND 3" ABOVE FINISH GRADE.
3. BOUNDS SHALL BE BACKFILLED WITH CLEAN GRAVEL OR SAND, THOROUGHLY TAMPED.
4. WHERE BOUNDS FALL ON SOLID LEDGE OR IN UNSTABLE AREA, STEEL RODS, DRILL HOLES OR OFFSET MONUMENTS MAY BE USED WITH ENGINEER'S CONSENT.



D&L Design Group
Civil Engineering & Land Surveying
115 Water Street • Milford, MA 01757
P:(508) 408-2577
www.danddesigngroup.com

P.E. P.L.S.

MICHAEL DEAN
CIVIL
REGISTERED PROFESSIONAL
STATE OF MASSACHUSETTS
EXPIRATION DATE 12/31/2024
7-17-24

REVISIONS		
REV.	DATE	DESCRIPTION
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PROJECT NO. J-016
DESIGNED BY PML
CHECKED BY MD
DATE 9/13/23
CAD FILE J-016 SITE PLAN
PLAN NO.

APPLICANT/DEVELOPER:
LOBISSER BUILDING CORP.
1 Charlesview Road • Hopedale, MA 01747
P:(508) 478-6235

TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
CONSTRUCTION DETAILS

SHEET 3 OF 4

SHEET NO.
C-7.3

1. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. (0.15 SQ. IN. FOR 60" DIA) AND BASE BOTTOM.
2. CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
3. MANHOLE DESIGN CONFORMS TO LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
4. JOINT SEALANT SHALL BE SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361. 5. BASE SECTION SHALL BE ONE POUR MONOLITHIC.



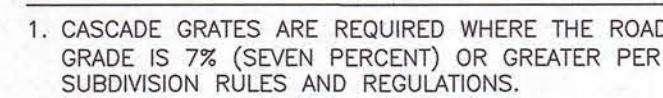
1. USE 4-FLANGE LEBARON LF248-2 GRATES AT ALL CB STRUCTURES.
2. SUBMIT SHOP DRAWINGS FOR APPROVAL.
3. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC. 0.12 SQ. IN./LINEAL FT. (0.15 SQ. IN. FOR 60" DIA) AND BASE BOTTOM.
4. CONCRETE COMPRESSIVE STRENGTH 4000 PSI MIN.
5. JOINT SEALANT SHALL BE SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361.



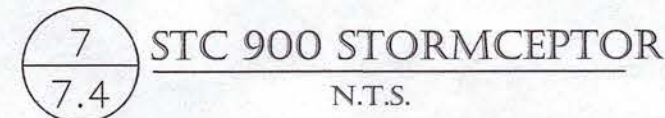
1. 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478.
2. REINFORCING PER LATEST ASTM A185.
3. STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.
4. VERIFY FRAME AND GRATE TO SUIT APPLICATION



	P.L.S.
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1. MINIMUM STONE DIAMETER: 6"
2. MINIMUM WEIGHT OF STONE: 50 LBS.
3. MAXIMUM WEIGHT OF STONE: 125 LBS.
4. PLACE ALL RIP-RAP OVER FILTER FABRIC, AMOCO 4508 OR APPROVED EQUAL.



8 TYP. CONCRETE HEADWALL DETAIL
7.4 N.T.S.

1 Charlesview Road • Hopedale, MA 01747
P:(508) 478-6235

47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
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CONSTRUCTION DETAILS

SHEET NO.

C-7.4

NOT FOR CONSTRUCTION



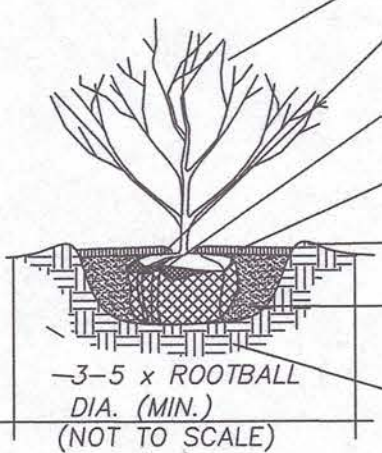
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "TWO-SHOTS" AT (888)344-7233 (T888DUG-SAFE).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

LANDSCAPING NOTES

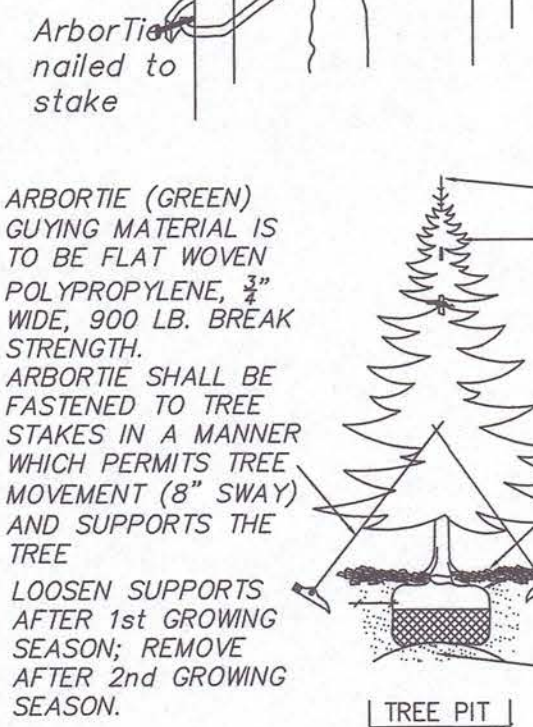
- 1 NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
- 2 THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
- 3 DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- 4 ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- 5 ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST PRACTICE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 6 ALL CONTAINER GROWN STD SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
- 7 THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
- 8 ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
- 9 WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
- 10 PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- 11 ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
- 12 PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED.
- 13 LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
- 14 SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP: PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEDING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB. PER 1500.
- 15 LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDING AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (ORAB GRASS) WITHIN THE SEEDING AREAS UNTIL THE SEEDING AREAS HAVE BEEN ACCEPTED.
- 16 WITHIN THE DETENTION BASIN AND ON TOP OF THE SEPTIC SYSTEM LEACH FIELD, SEED WITH THE CONSERVATION SEED MIX FROM NEW ENGLAND WETLAND PLANT INC. PLANT AT A RATE OF ONE POUND PER 1,750 SQ.
- 17 THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
- 18 PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
- 19 THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST. AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL, AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWN, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON, IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL NET A 20"-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
- 20 WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
- 21 LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
- 22 LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

SHRUB PLANTING



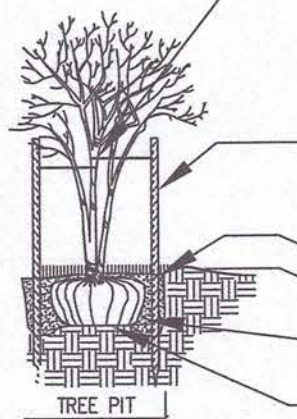
REMOVE ALL DEADWOOD. (DO NOT REMOVE ANY OTHER VEGETATION.)
PLANT SHRUB AT DEPTH EQUAL TO 2" LESS THAN THE DISTANCE FROM BOTTOM OF ROOTBALL TO ROOT COLLAR.
CUT AND REMOVE BURLAP FROM ENTIRE ROOTBALL.
3" MULCH (UNLESS OTHERWISE NOTED ON PLANS.)
MOUND WITH EXCAVATED SOIL TO 3" ABOVE FINISHED GRADE.
BAPILL WITH PLANTING MIX AND LEAF COMPOST
ROOTBALL ON UNDISTURBED SUBGRADE.

Fold ends of ArborTie ba.
Secure to stake with 1" galvanized roofing nail or use a knot. ArborTie nailed to stake



EVERGREEN TREE PLANTING

NOT TO SCALE



DECIDUOUS TREE PLANTING

NOT TO SCALE

ARBORTIE (GREEN) GUYING MATERIAL IS TO BE FLAT WOVEN POLYPROPYLENE MATERIAL 3/4" WIDE, 900 LB. BREAK STRENGTH. ARBORTIE SHALL BE FASTENED TO TREE STAKES IN A MANNER WHICH PERMITS TREE MOVEMENT (8" SWAY) AND SUPPORTS THE TREE.
2"x2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 18" INTO THE SUBGRADE PRIOR TO BAFILLING.
DO NOT DRIVE STAKE INTO ROOT BALL. SPACE STAKING EVENLY AROUND TREE.
3" DEEP MULCH
FORM SAUCER WITH 3" CONTINUOUS RIM.
PLANTING SOIL MIX AND LEAF COMPOST
WATER & TAMP TO REMOVE AIR POETS
EXISTING SOIL SCARIFY PIT BOTTOM

NOTES:
1. STAKE TO MAIN BRANCHES AS NECESSARY FOR FIRM SUPPORT.
2. PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
3. GUY WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
4. REMOVE ALL CONTAINERS AND BASKETS FROM ROOT BALL.
5. REMOVE BURLAP FROM TOP ONE THIRD OF ROOT BALL.
6. LOOSEN ROOTBALL PRIOR TO PLANTING.

MAP 201, PARCEL 194
11 WHITNEY LN

MAP 201, PARCEL 193
13 WHITNEY LN

MAP 201, PARCEL 192
15 WHITNEY LN

MAP 201, PARCEL 191
17 WHITNEY LN

MAP 201, PARCEL 190
19 WHITNEY LN

MAP 201, PARCEL 189
21 WHITNEY LN

MAP 201, PARCEL 188
21 HAZELTINE RD

MAP 201, PARCEL 187
23 HAZELTINE RD

MAP 201, PARCEL 131
4 SCHOOL STREET

MAP 201, PARCEL 132
6 SCHOOL STREET

MAP 201, PARCEL 134
0 SCHOOL STREET

PROPOSED SIGN DETAIL

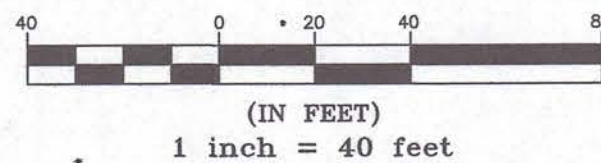
N.T.S.

3" MIN. BARK MULCH UNDER TREES & SHRUBS

TRIM BRANCHES & FOLIAGE BY 1/3, WHILE RETAINING NATURAL SHAPE OF SHRUB(TYP)

FINISH GRADE

GRAPHIC SCALE



(IN FEET)

1 inch = 40 feet

REVISIONS

REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS
3	5/19/24	REVISED PLANS.
4	7/17/24	REVISED PLANS.

PROJECT NO. J-016

DESIGNED BY PML

CHECKED BY MD

DATE 9/13/23

CAD FILE J-016 SITE PLAN

PLAN NO.

APPLICANT/DEVELOPER:

LOBISSER BUILDING CORP.

1 Charlesview Road • Hopedale, MA 01747

P: (508) 478-6235

TITLE:

Upton Apartments

47 Main Street,
Upton Massachusetts

Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE

LANDSCAPE
PLAN

SHEET NO.

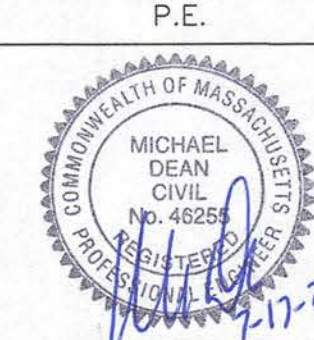
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D&L Design Group
Civil Engineering & Land Surveying

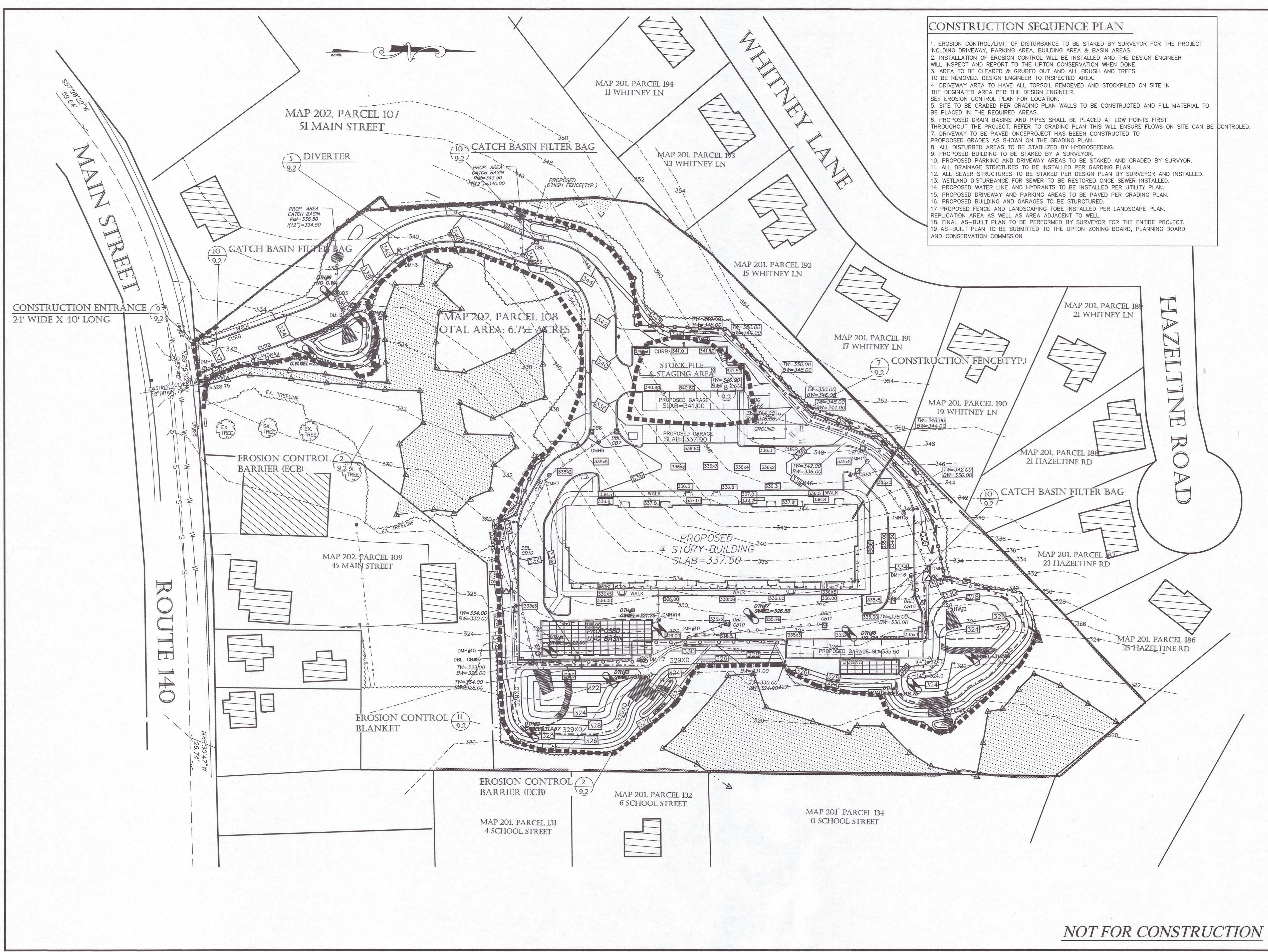
115 Water Street • Milford, MA 01757

P: (508) 408-2577

www.danddesigngroup.com



P.L.S.



- ### CONSTRUCTION SEQUENCE PLAN
1. EROSION CONTROL/LIMIT OF DISTURBANCE TO BE STAKED BY SURVEYOR FOR THE PROJECT INCLUDING DRIVEWAY, PARKING AREA, BUILDING AREA & BASIN AREAS.
 2. INSTALLATION OF EROSION CONTROL WILL BE INSTALLED AND THE DESIGN ENGINEER WILL INSPECT AND REPORT TO THE UPTON CONSERVATION WHEN DONE.
 3. AREA TO BE CLEARED & GRUBBED OUT AND ALL BRUSH AND TREES TO BE REMOVED. DESIGN ENGINEER TO INSPECTED AREA.
 4. DRIVEWAY AREA TO HAVE ALL TOPSOIL REMOVED AND STOCKPILED ON SITE IN THE DESIGNATED AREA PER THE DESIGN ENGINEER.
 5. SEE EROSION CONTROL PLAN FOR LOCATION.
 6. SITE TO BE GRADED PER GRADING PLAN WALLS TO BE CONSTRUCTED AND FILL MATERIAL TO BE PLACED IN THE REQUIRED AREAS.
 7. PROPOSED DRAIN BASINS AND PIPES SHALL BE PLACED AT LOW POINTS FIRST THROUGHOUT THE PROJECT. REFER TO GRADING PLAN THIS WILL ENSURE FLOWS ON SITE CAN BE CONTROLLED.
 8. DRIVEWAY TO BE PAVED ONCE PROJECT HAS BEEN CONSTRUCTED TO PROPOSED GRADES AS SHOWN ON THE GRADING PLAN.
 9. ALL DISTURBED AREAS TO BE STABILIZED BY HYDROSEEDING.
 10. PROPOSED BUILDING TO BE STAKED BY A SURVEYOR.
 11. PROPOSED PARKING AND DRIVEWAY AREAS TO BE STAKED AND GRADED BY SURVEYOR.
 12. ALL DRAINAGE STRUCTURES TO BE INSTALLED PER GRADING PLAN.
 13. ALL SEWER STRUCTURES TO BE STAKED PER DESIGN PLAN BY SURVEYOR AND INSTALLED.
 14. WETLAND DISTURBANCE FOR SEWER TO BE RESTORED ONCE SEWER INSTALLED.
 15. PROPOSED WATER LINE AND HYDRANTS TO BE INSTALLED PER UTILITY PLAN.
 16. PROPOSED DRIVEWAY AND PARKING AREAS TO BE PAVED PER GRADING PLAN.
 17. PROPOSED BUILDING AND GARAGES TO BE STRUCTURED.
 18. PROPOSED FENCE AND LANDSCAPING TO BE INSTALLED PER LANDSCAPE PLAN.
 19. REPLICATION AREA AS WELL AS AREA ADJACENT TO WELL.
 20. FINAL AS-BUILT PLAN TO BE PERFORMED BY SURVEYOR FOR THE ENTIRE PROJECT.
 21. AS-BUILT PLAN TO BE SUBMITTED TO THE UPTON ZONING BOARD, PLANNING BOARD AND CONSERVATION COMMISSION

D&L Design Group
Civil Engineering & Land Surveying
115 Water Street • Milford, MA 01757
P: (508) 408-2577
www.dandlgroup.com

P.E.

P.L.S.

NOTE:

1. The Contractor shall give twenty-four notice to pertinent Town Departments before commencing any work in the field.
2. The Contractor shall add additional erosion control measures as needed with the determination of the design engineer and the town of Upton shall be informed for any changes to the erosion control plan.

GRAPHIC SCALE

(IN FEET)
1 inch = 40 feet

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS
3	5/19/24	REVISED PLANS.
4	7/17/24	REVISED PLANS.

PROJECT NO. J-016
DESIGNED BY PML
CHECKED BY MD
DATE 9/13/23
CAD FILE J-016 SITE PLAN
PLAN NO.

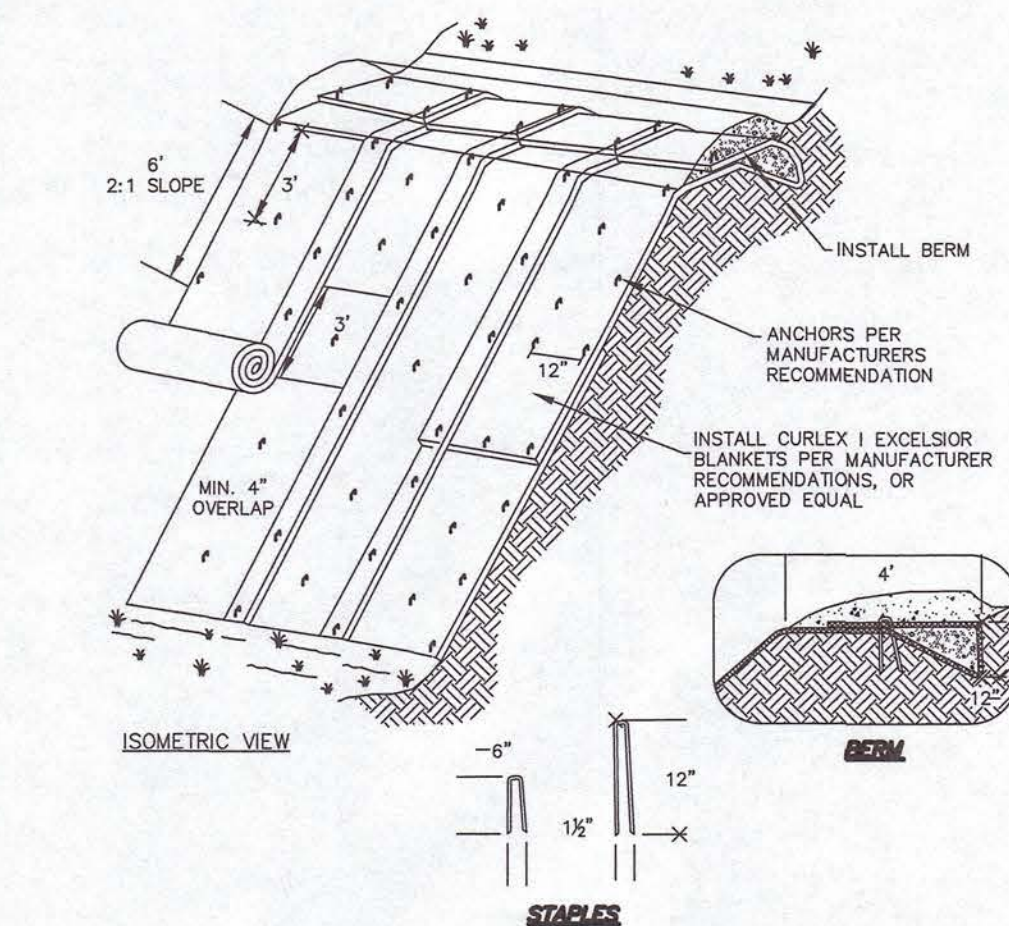
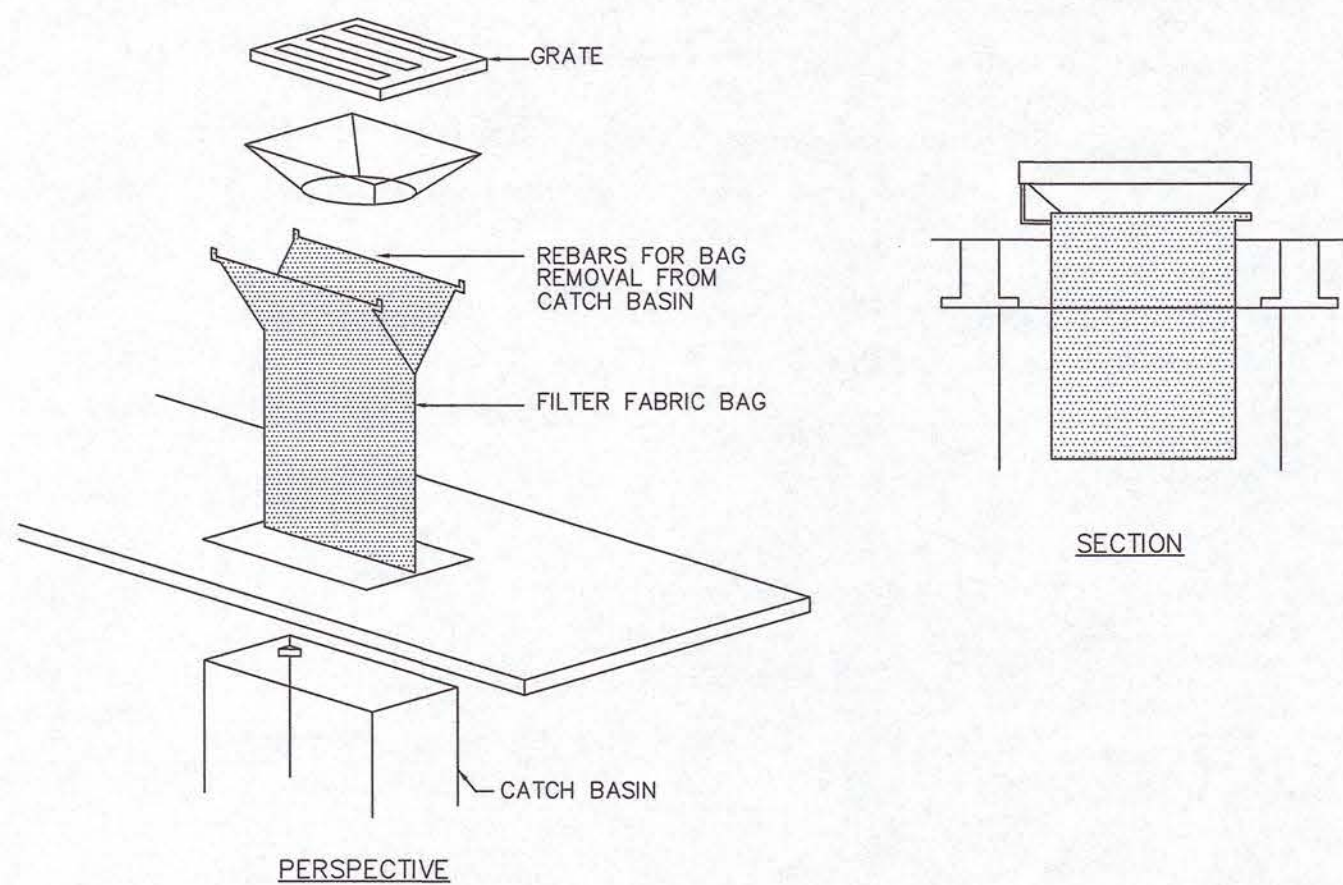
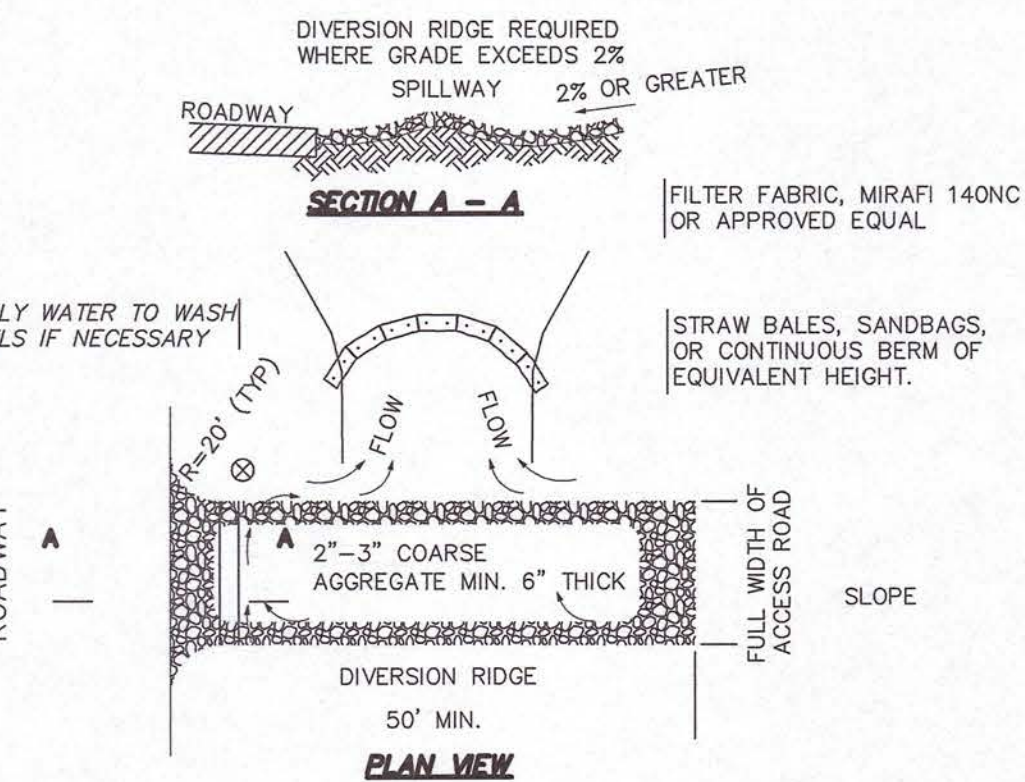
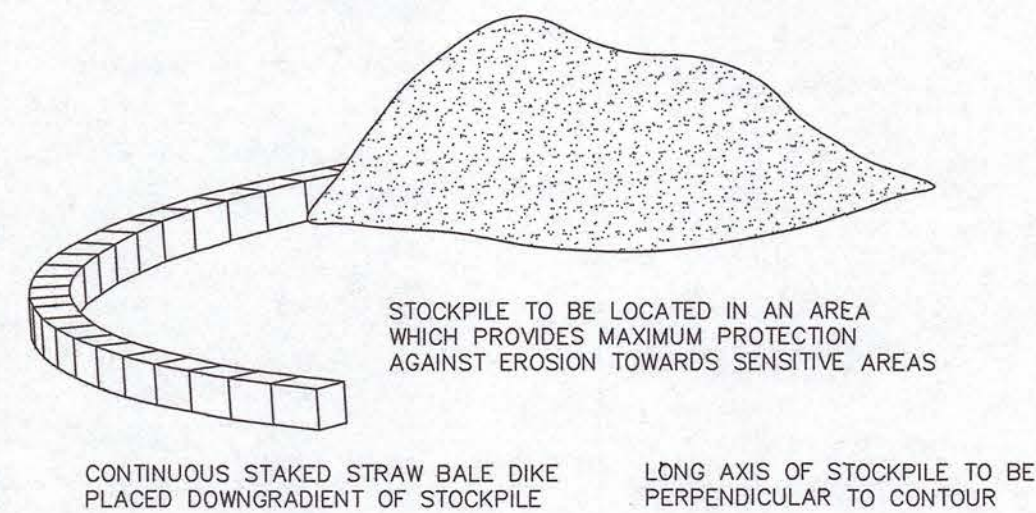
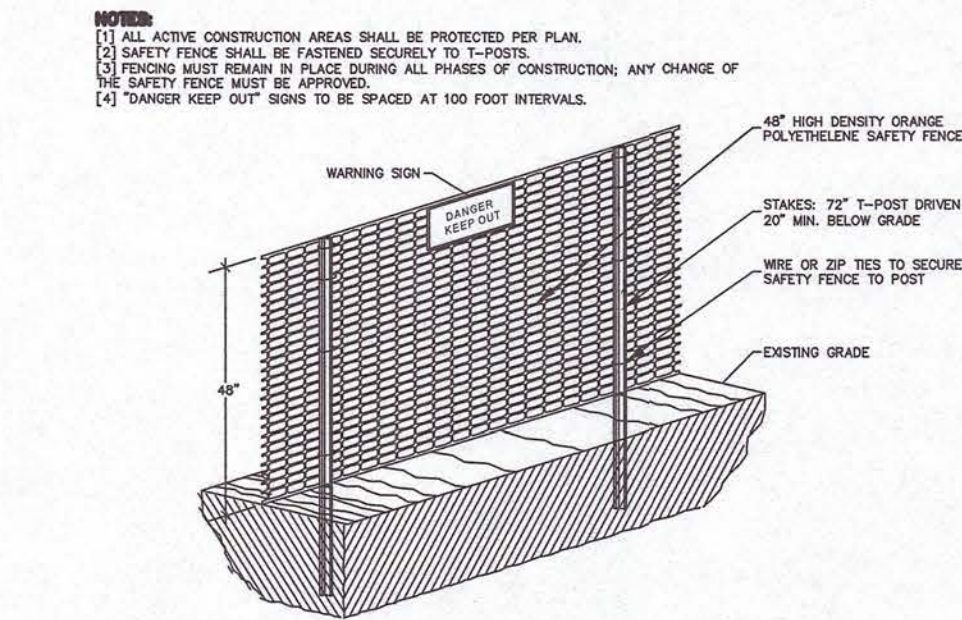
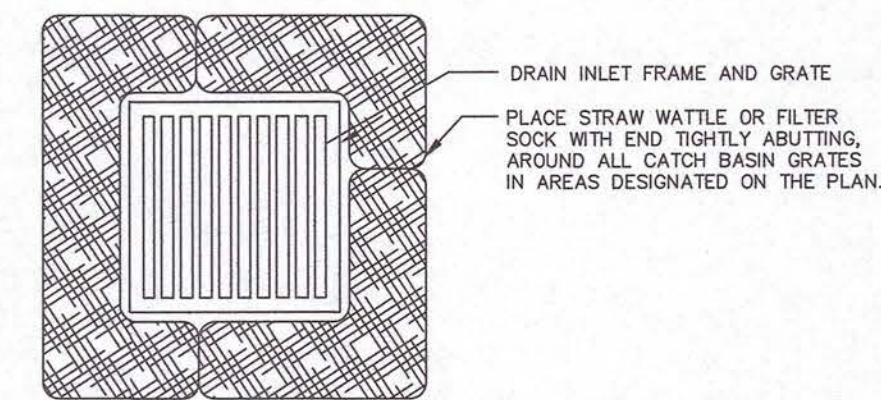
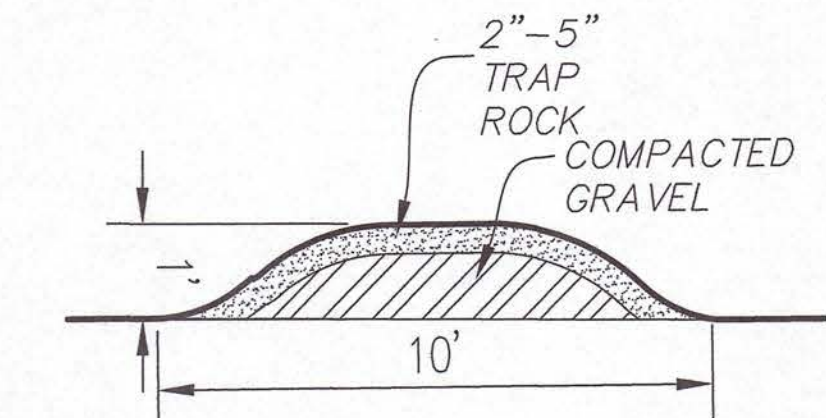
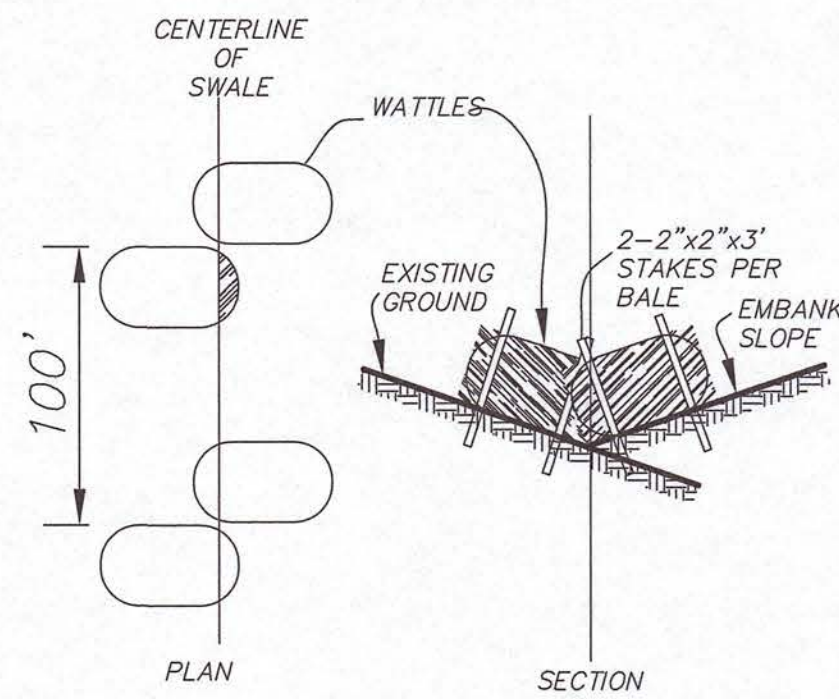
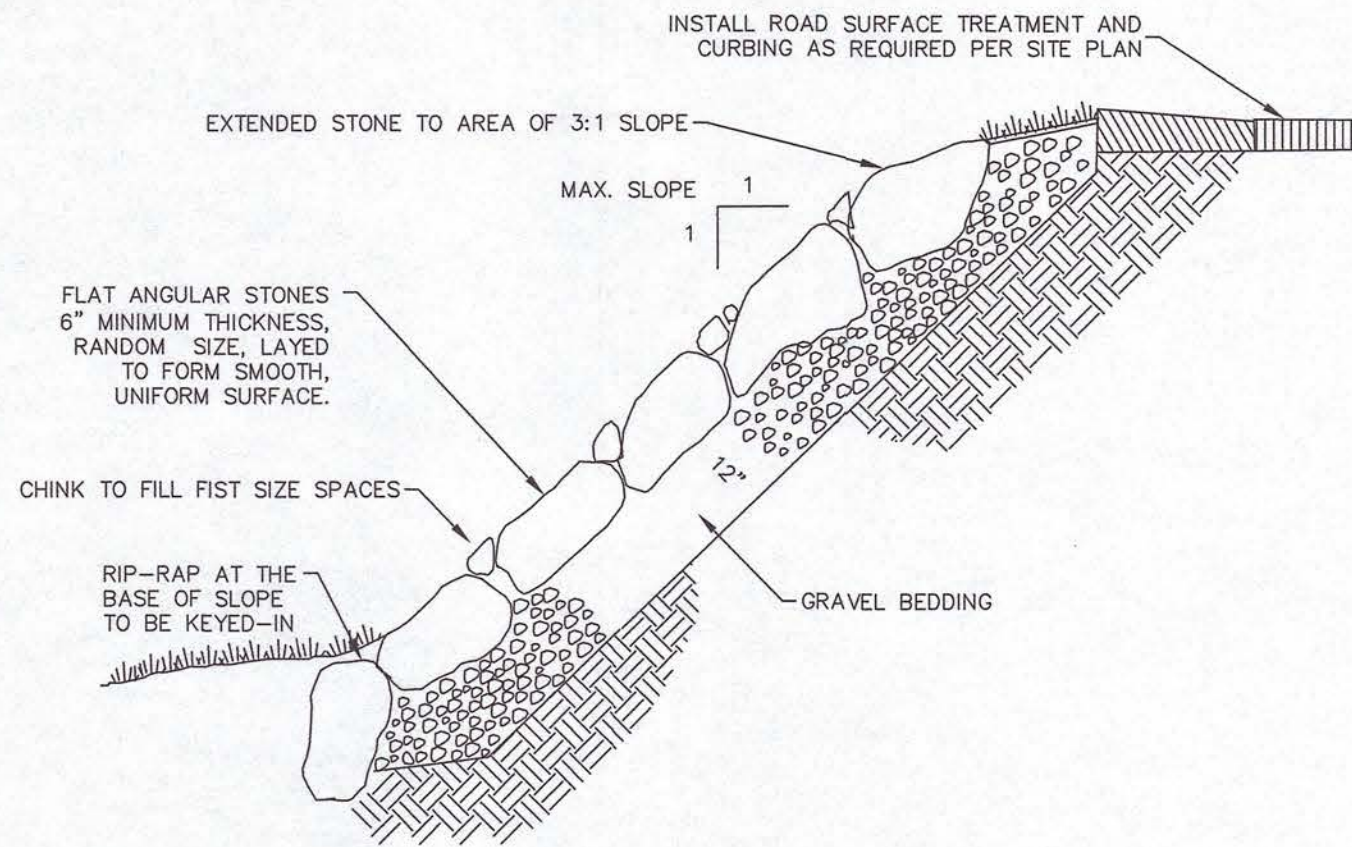
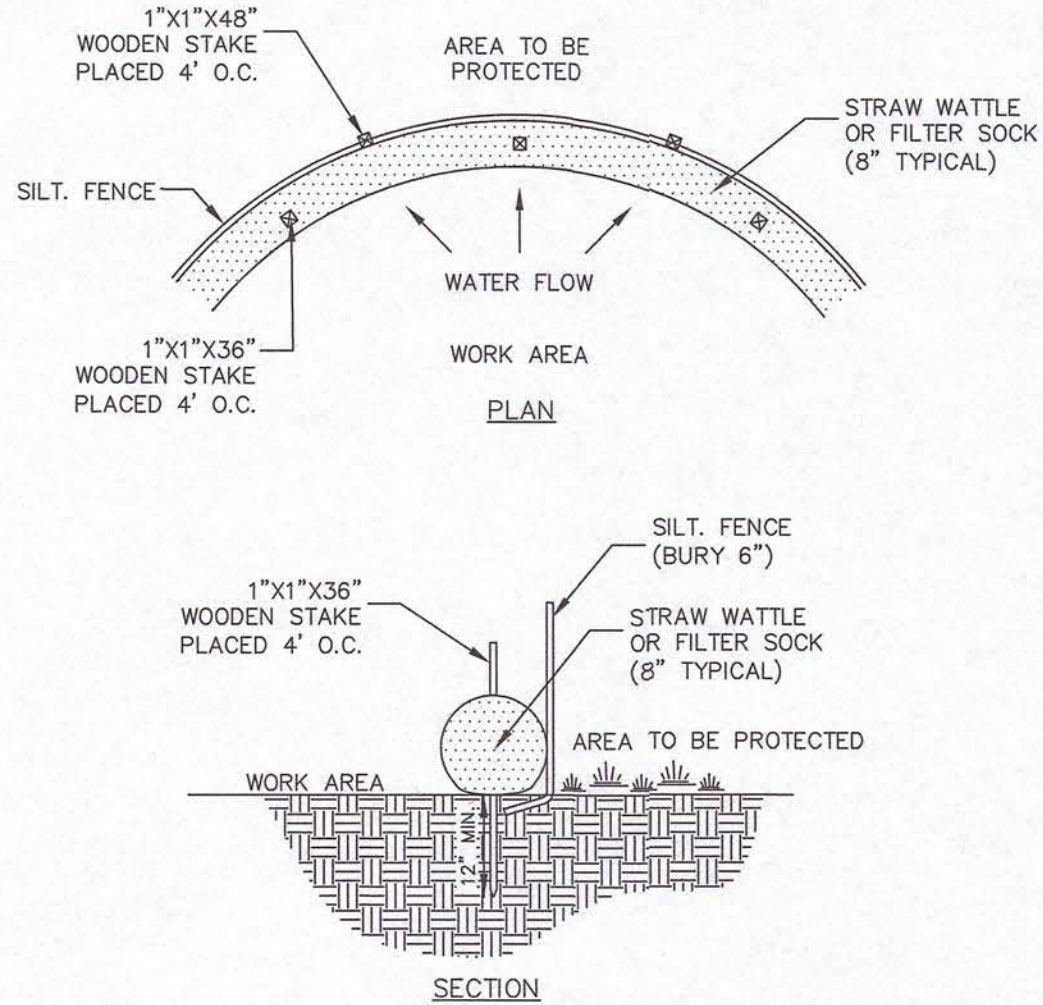
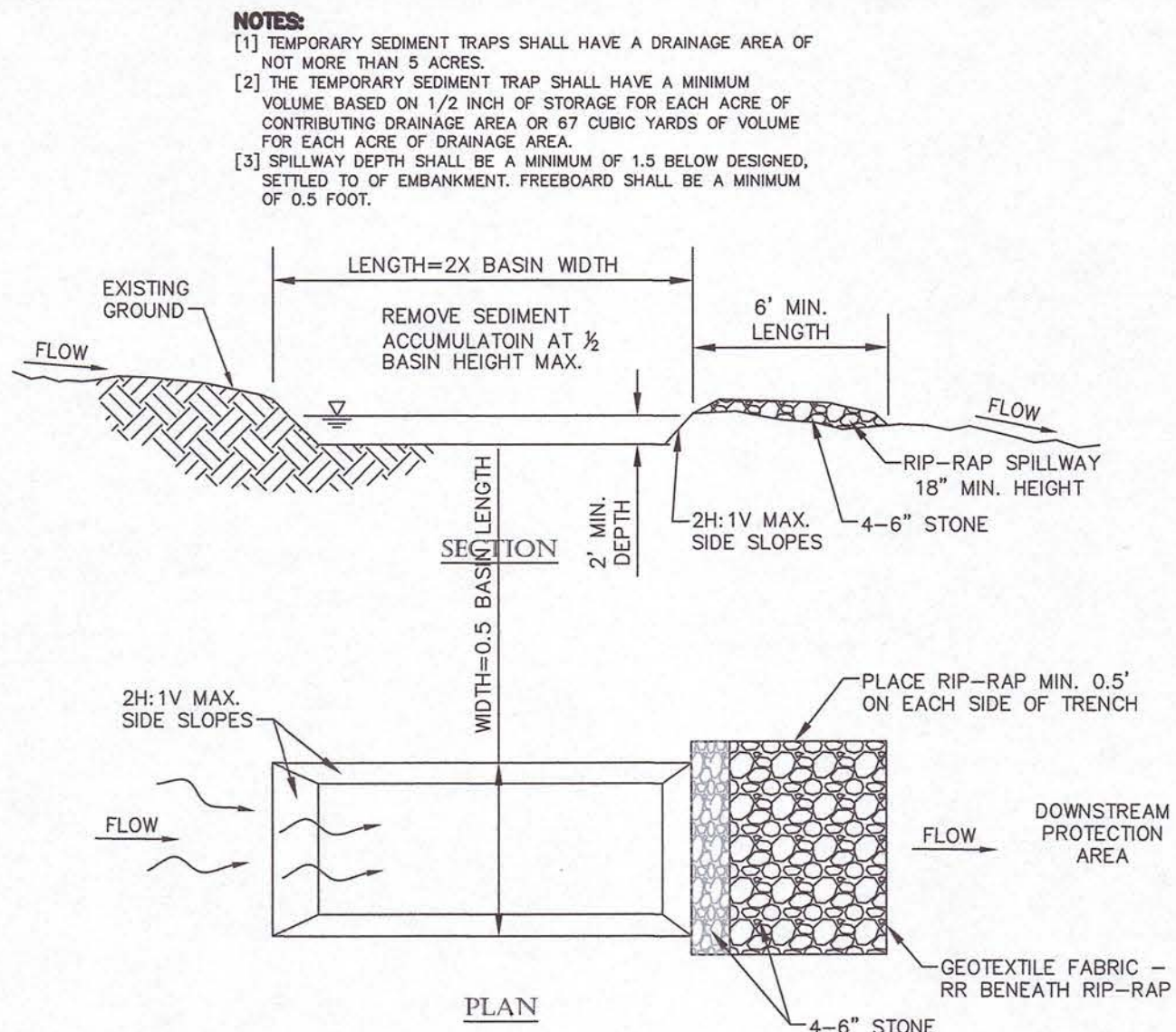
APPLICANT/DEVELOPER:
LOBISSER BUILDING CORP.
1 Charleswood Road • Hopedale, MA 01747
P: (508) 478-6235

TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
EROSION CONTROL PLAN

SHEET NO.
C-9.1

NOT FOR CONSTRUCTION



EROSION AND SEDIMENT CONTROL REQUIREMENTS

PART 1 - GENERAL

1.01 SUMMARY

A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SUCH AS BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, VEHICLE TRACKING PADS, DIVERSION CHANNELS AND BERM CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G., SOIL, MULCH, SOD) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS, OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, THREATENED OR ENDANGERED SPECIES HABITATS, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES.

ALL METHODS AND MATERIALS USED FOR EROSION CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN "EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AS PUBLISHED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, UNLESS OTHERWISE APPROVED IN WRITING.

1. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF LIMITS OF DISTURBANCE AND CONTROL MEASURES REQUIRED TO COMMEASURE WORK LIMITS OF DISTURBANCE SHALL BE MARKED WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING; THE DRAWINGS ARE NOT INTENDED TO GRANTFULLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

2. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.

3. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.

1.02 SUBMITTALS

A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.

B. SUBMIT SKETCH SHOWING LOCATIONS OF PROPOSED STOCKPILE AREAS, CONSTRUCTION ENTRANCES AND EROSION CONTROLS IF NOT SHOWN ON THE SITE PLAN OR DIFFERENT FROM THOSE LOCATIONS SHOWN ON THE SITE PLAN.

C. A SITE SPECIFIC SEQUENCE OF CONSTRUCTION FOR EACH PORTION OF THE SITE, NO PORTION OF THE SITE SHALL EXCEED FIVE (5) ACRES.

1.03 QUALITY ASSURANCE

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS, DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, CITY COUNCIL, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT ENVIRONMENTAL PROTECTION AGENCY, WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 2 - PRODUCTS

2.01 MATERIALS

A. STRAW BALES: WEED FREE DRY GRASS OR STRAW MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 42" X 16" X 16", EACH BALE SHALL BE STAKED WITH A MINIMUM OF TWO 24" LONG HARDWOOD STAKES. NOTE: HAY SHALL NOT BE USED.

B. STRAW WATTLES: NORTH AMERICAN GREEN MODEL WS210 OR APPROVED EQUAL.

C. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM/SF MINIMUM, GRAB TENSILE RATED AT 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO. 2130 BY AMCO FABRICS & TUBES, OR APPROVED EQUAL.

D. MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.

E. SEED MIXES: SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION SECTION 6.01.0 OR 6.01.1 AS APPROPRIATE.

F. EXCLOSUR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, SIZE OF FIBERS 6-INCHES LONG OR LONGER, WEIGHT 0.575 POUNDS / SF, CONTAINING NO CHEMICAL ADHESIVES. USE CURLEX I BLANKET BY AMERICAN EXCLOSUR COMPANY, OR APPROVED EQUAL.

G. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TALUS.

H. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE.

PART 3 - EXECUTION

3.01 THROUGHOUT CONSTRUCTION

A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN CONTROL MEASURES SUCH AS DIVERSION CHANNELS AND BERM CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBTLE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.

B. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.

C. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE HAY BALES, SILT FENCE AND STAKES, AND CRUSHED STONE.

D. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO ENSURE INTENDED FUNCTION. BY SUPPLEMENTING AS NECESSARY FOR ADEQUATE EXTENT, BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.

E. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITH CONTROL MEASURES WITHIN A 24-HOUR PERIOD.

F. INSTALL CONTROL MEASURES AS SOON AS PRACTICABLE AFTER EACH MANAGEABLE PORTION OF EARTHWORK IS COMPLETE. EMPLOY TEMPORARY MEASURES AS NECESSARY TO STABILIZE DISTURBED AREAS, EVEN WHERE SUBSEQUENT CONSTRUCTION OPERATIONS MAY REQUIRE RE-DISTURBANCE.

PART 3 - CONTINUED

G. WHEN INTENSE RAINFALL IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.

H. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.

I. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.

J. SWEEP ON-SITE PAVED AREAS AND OFF-SITE STREETS AS NECESSARY TO PREVENT SILT AND DEBRIS ORIGINATING ON SITE FROM ENTERING CLOSED DRAINAGE SYSTEMS AND / OR ENVIRONMENTALLY SENSITIVE AREAS. WHEN NECESSARY UTILIZE WATER SPRINKLING, SURFACE ROUGHENING AND/OR APPLY POLYMERS, SPRAY-ON TACKPERS, CHLORIDES AND BARRIERS FOR DUST CONTROL.

K. INSPECT EROSION CONTROLS DAILY THROUGHOUT CONSTRUCTION REPAIR DAMAGED CONTROLS IMMEDIATELY.

3.02 SITE PREPARATION AND ACCESS

A. WALK SITE AND DETERMINE LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.

B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFINING THE LIMIT OF WORK.

C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT.

3.03 CLEARING, GRUBBING, AND STRIPPING

A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.

B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE. NO GREATER THAN FIVE (5) ACRES SHALL BE UNSTABLE AT ANY TIME.

C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.

D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.

E. PROCESS TIMBER, STUMPS, SLASH AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.

F. PROCESS TIMBER, STUMPS, SLASH AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.

3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES

A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING PUMP AND WELL PUMP PUMPS PRIOR TO EXCAVATION.

B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.

C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.

D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF. STOCKPILE SLOPES SHALL NOT EXCEED 2:1.

E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.

3.05 SITE GRADING

A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.

B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION BERM AND CHECK DAMS. IN ALL AREAS EXCEPT THOSE THAT DO NOT PRESENT POTENTIAL PROBLEMS WITH REGARD TO FUTURE SOIL STABILITY, DRAINAGE, OR BEARING CAPACITY, REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.

C. EXPOSED SOILS SHALL BE PERMANENTLY STABILIZED WITHIN FIVE (5) BUSINESS DAYS OF COMPLETION OF CONSTRUCTION OF A GIVEN AREA. EXPOSED AREAS WHERE NO WORK HAS OCCURRED FOR FOURTEEN (14) DAYS SHALL BE TEMPORARILY STABILIZED WITH HYDROSEED OR OTHER APPROVED METHOD.

D. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER COMPLETION.

3.06 LANDSCAPING

A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE.

B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING, BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET.

C. PERMANENT SEEDING MAY BE PERFORMED IN THE SPRING PRIOR TO JULY 1 AND IN BETWEEN AUGUST 1 AND OCTOBER 15. PERMANENT SEEDING AT OTHER TIMES SHALL BE APPROVED AND SHALL ONLY BE ALLOWED WITH AN APPROVED MULCHING AND IRRIGATION PROGRAM.

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS.
3	5/19/24	REVISED PLANS.
4	7/17/24	REVISED PLANS.

PROJECT NO.	J-016
DESIGNED BY	PML
CHECKED BY	MD
DATE	9/13/23
CAD FILE	J-016 SITE PLAN
PLAN NO.	

APPLICANT/DEVELOPER:
LOBISSER BUILDING CORP.
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TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
EROSION CONTROL NOTES & DETAILS
SHEET NO.
C-9.2