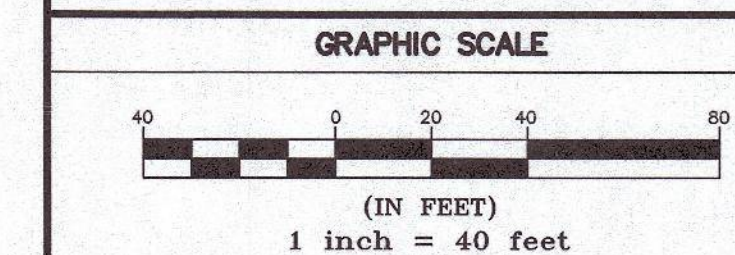




- NOTE:
1. THE CONTRACTOR SHALL GIVE TWENTY-FOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
 2. ALL SIGNS AND PAVEMENT MARKINGS TO BE INSTALLED WITHIN THE PROJECT SITE SHOULD CONFORM TO THE APPLICABLE STANDARDS OF THE MUTCD.



REVISIONS		
REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
2	3/25/24	REVISED PLANS.
3	5/19/24	REVISED PLANS.

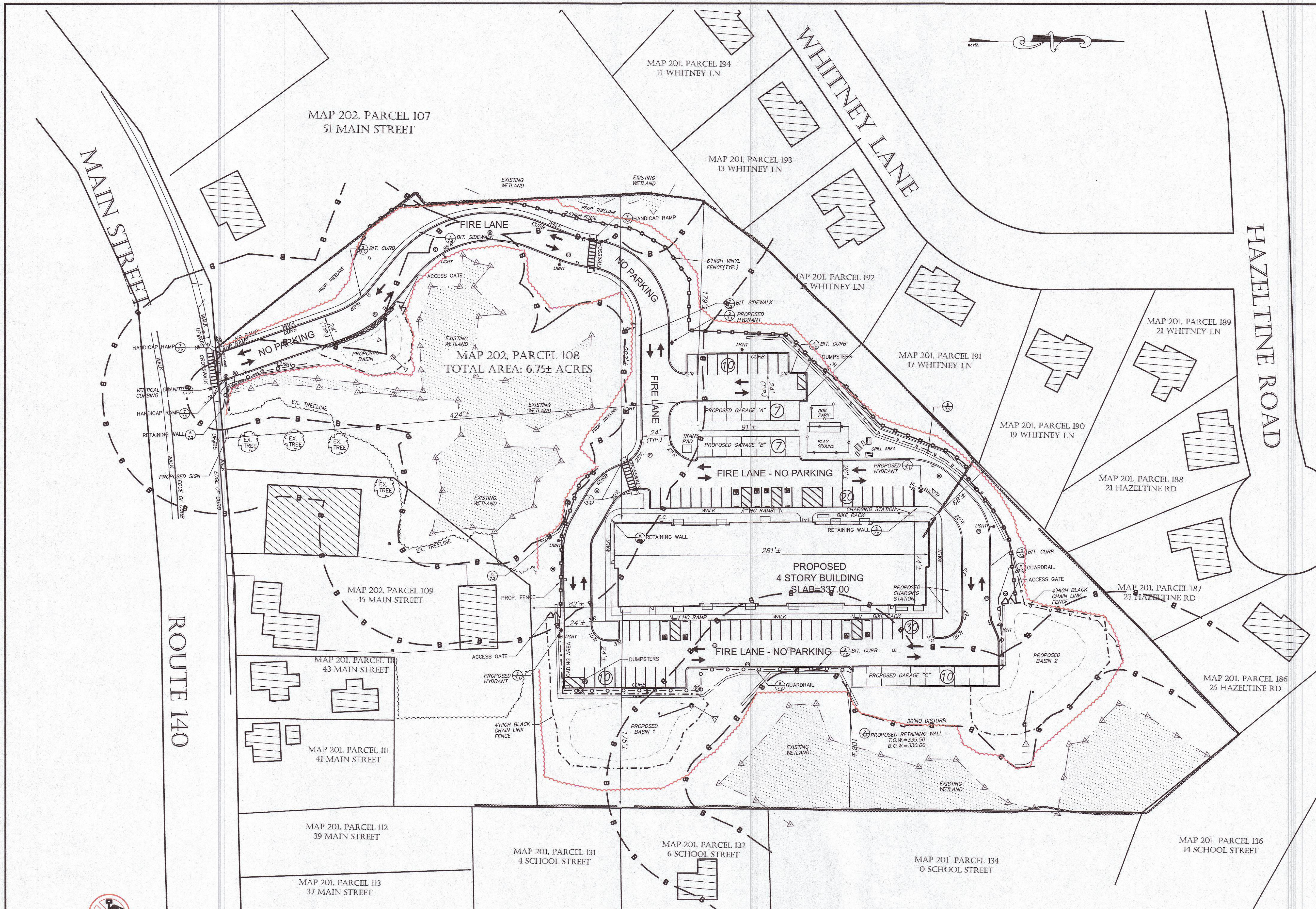
PROJECT NO.	J-016
DESIGNED BY	PML
CHECKED BY	MD
DATE	9/13/23
CAD FILE	J-016 SITE PLAN
PLAN NO.	

APPLICANT/DEVELOPER:
LOBISSER BUILDING CORP.
1 Charlesview Road • Hopedale, MA 01747
P: (508) 478-6235

TITLE:
Upton Apartments
47 Main Street,
Upton Massachusetts
Preliminary
Residential Development Plans
Comprehensive Permit Application
Upton Zoning Board of Appeals

SHEET TITLE
SITE PLAN

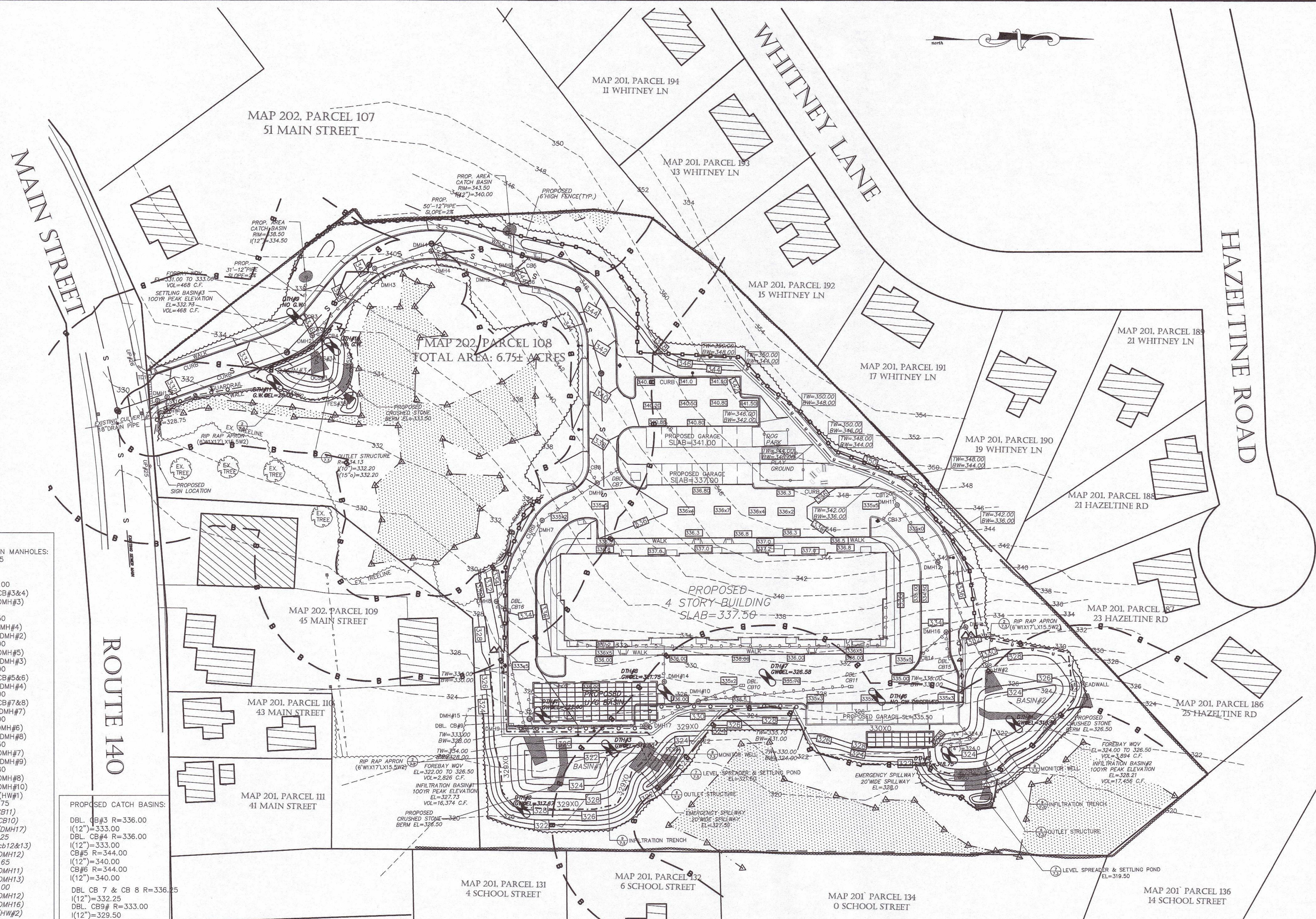
SHEET NO.
C-4.0



DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "811" AT (800) 344-7233 (1-800-DIG-811). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOT FOR CONSTRUCTION



PROPOSED DRAIN MANHOLES:

DMH#1	R=331.25
I(8")	=329.30
I(12")	=329.30
DMH#2	R=336.00
I(12")	=332.75(CB#3&4)
I(12")	=332.75(DMH#3)
I(12")	=332.65
DMH#3	R=340.50
I(12")	=336.00(DMH#4)
I(12")	=335.90(DMH#2)
DMH#4	R=342.00
I(12")	=339.00(DMH#5)
I(12")	=337.90(DMH#3)
DMH#5	R=344.00
I(12")	=339.75(CB#5&6)
I(12")	=339.65(DMH#4)
DMH#6	R=336.00
I(12")	=332.00(CB#7&8)
I(12")	=331.90(DMH#7)
DMH#7	R=335.00
I(12")	=331.00(DMH#6)
I(12")	=330.90(DMH#8)
DMH#8	R=332.50
I(12")	=328.50(DMH#7)
I(12")	=328.40(DMH#9)
DMH#9	R=333.80
I(15")	=325.50(DMH#8)
I(12")	=325.50(DMH#10)
I(15")	=325.40(HW#1)
DMH#10	R=335.75
I(12")	=329.75(CB11)
I(12")	=329.75(CB10)
I(12")	=329.65(DMH17)
DMH#11	R=335.25
I(12")	=330.75(CB12&13)
I(12")	=330.65(DMH12)
DMH#12	R=334.65
I(12")	=329.65(DMH11)
I(12")	=329.55(DMH13)
DMH#13	R=333.00
I(12")	=328.35(DMH12)
I(12")	=327.50(DMH16)
I(12")	=327.40(HW#2)
DMH#14	R=335.80
I(12")	=327.50
I(12")	=327.40
DMH#15	R=335.80
I(12")	=326.40
I(12")	=326.30
DMH#16	R=334.00
I(12")	=329.00(CB#14)
I(12")	=329.00(CB#15)
I(12")	=328.90(DMH#13)
DMH#17	R=335.50
I(12")	=328.81
I(12")	=328.71(DMH#9)

PROPOSED CATCH BASINS:

DBL CB#3	R=336.00
I(12")	=333.00
DBL CB#4	R=336.00
I(12")	=333.00
CB#5	R=344.00
I(12")	=340.00
CB#6	R=344.00
I(12")	=340.00
DBL CB 7 & CB 8	R=336.25
I(12")	=332.25
DBL CB#9	R=333.00
I(12")	=329.50
DBL CB#10	R=335.25
I(12")	=327.00
DBL CB#11	R=335.25
I(12")	=327.00
CB#5&6	R=344.00
I(12")	=340.00
CB#12&13	R=335.30
I(12")	=331.50
CB#14	R=333.70
I(12")	=330.00
DBL CB#15	R=333.70
I(12")	=329.75
DBL CB#16	R=334.00
I(12")	=329.50

PROPOSED FLARED END SECTIONS:

FES#1	I(15")=322.00
FES#2	I(15")=322.75
FES#3A	I(15")=331.50
FES3B	I(12")=332.00

PROPOSED STORMCEPTOR:

ST#1	R=331.50
I(8")	=329.25
I(12")	=329.00

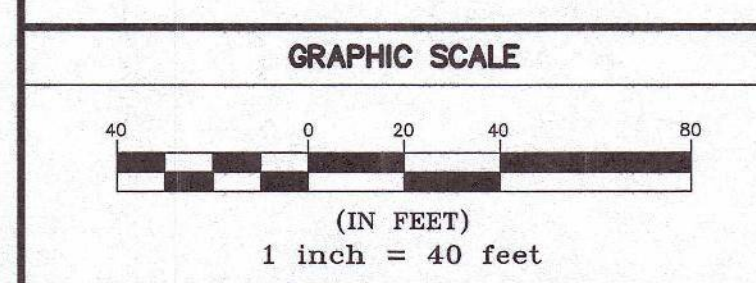
PROPOSED HEADWALL:

HW#1	I(12")=328.95
HW#2	I(12")=327.00

PROPOSED TRENCH DRAIN

R=331.00
I(8")=329.33

P.E. MICHAEL DEAN CIVIL No. 46255 MA 6-12-24	P.L.S.
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REVISIONS

REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
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3	5/19/24	REVISED PLANS.
4	6/10/24	REVISED PLANS.

PROJECT NO.	J-016
DESIGNED BY	PML
CHECKED BY	MD
DATE	9/13/23
CAD FILE	J-016 SITE PLAN
PLAN NO.	

APPLICANT/DEVELOPER:
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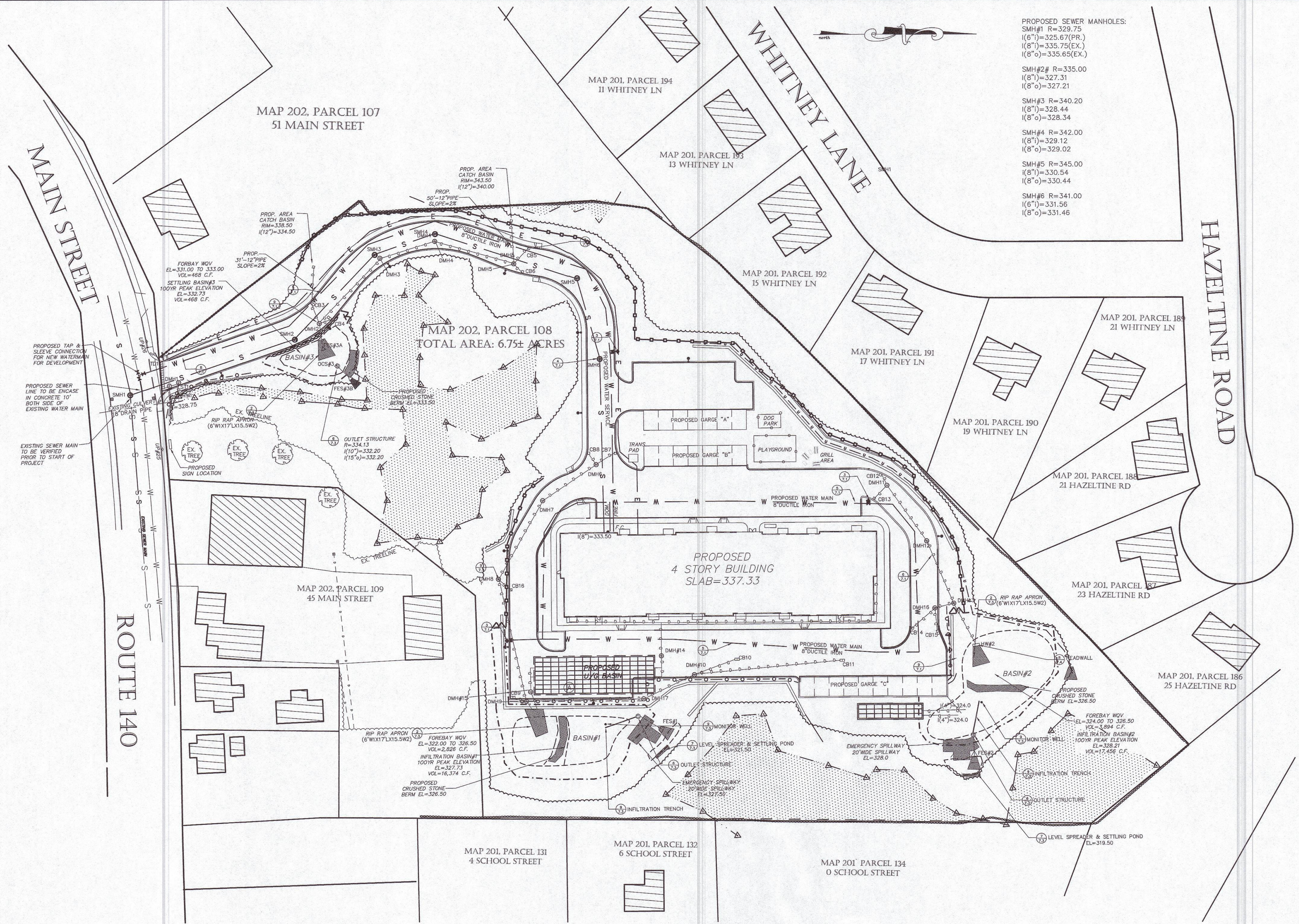
SHEET TITLE

GRADING & DRAINAGE
PLAN

SHEET NO.

C-5.0

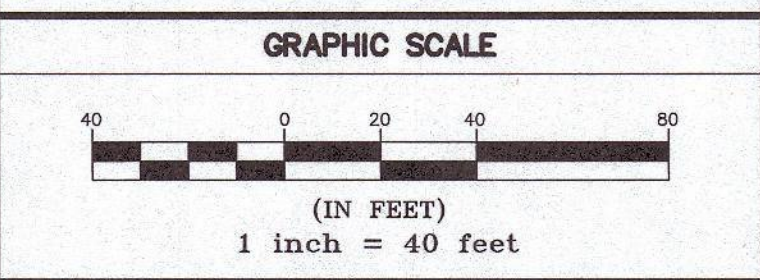
NOT FOR CONSTRUCTION



- PROPOSED SEWER MANHOLES:
- SMH#1 R=329.75
(6")=325.67(PR.)
(8")=335.75(EX.)
(8")=335.65(EX.)
- SMH#2# R=335.00
(8")=327.31
(8")=327.21
- SMH#3 R=340.20
(8")=328.44
(8")=328.34
- SMH#4 R=342.00
(8")=329.12
(8")=329.02
- SMH#5 R=345.00
(8")=330.54
(8")=330.44
- SMH#6 R=341.00
(6")=331.56
(8")=331.46

D&L Design Group
Civil Engineering & Land Surveying
115 Water Street • Milford, MA 01757
P (508) 408-2577
www.dandlgroup.com

P.E.	P.L.S.



REVISIONS		
REV.	DATE	DESCRIPTION
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3	5/19/24	REVISED PLANS.
PROJECT NO.	J-016	
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PLAN NO.		

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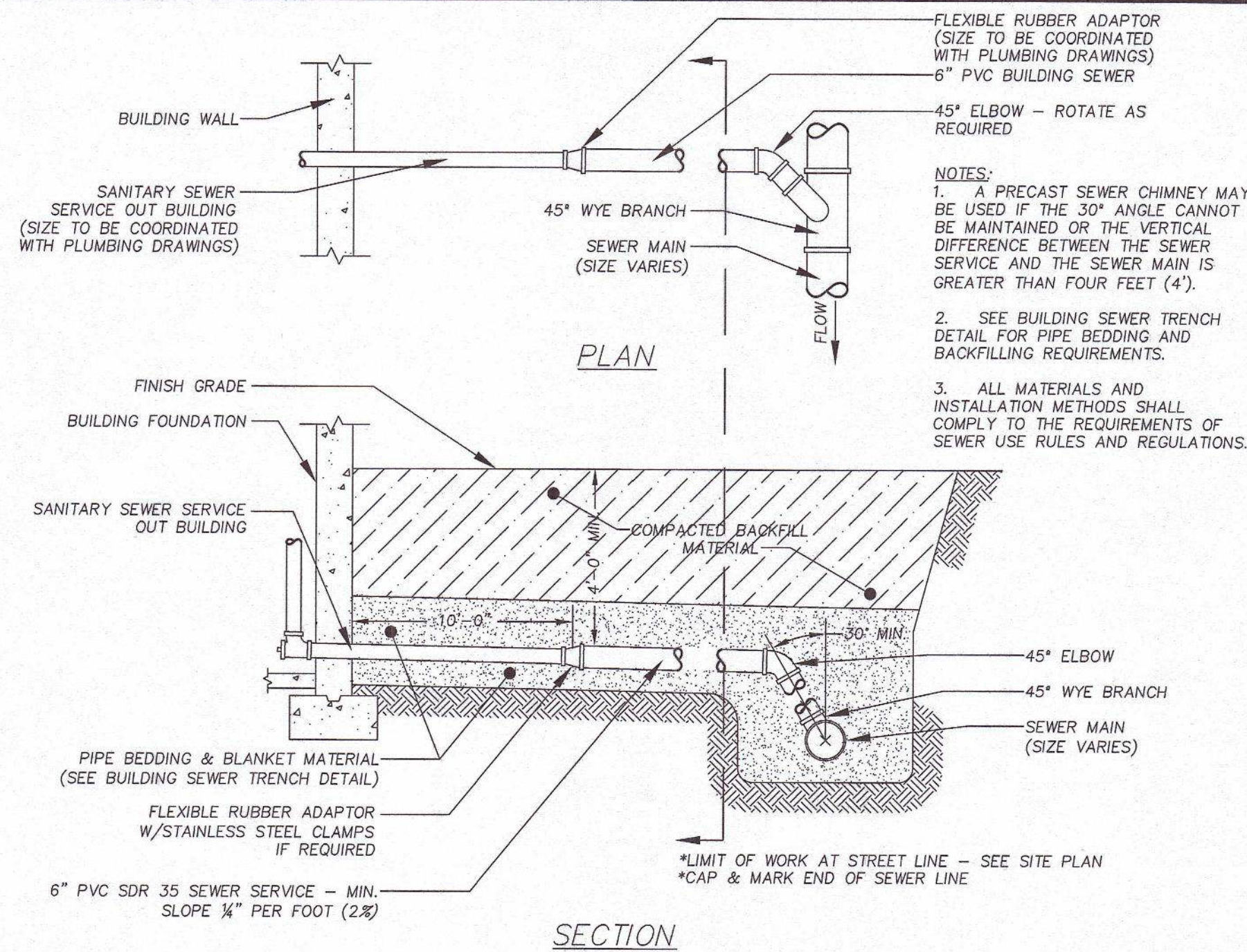
SHEET TITLE

UTILITY PLAN

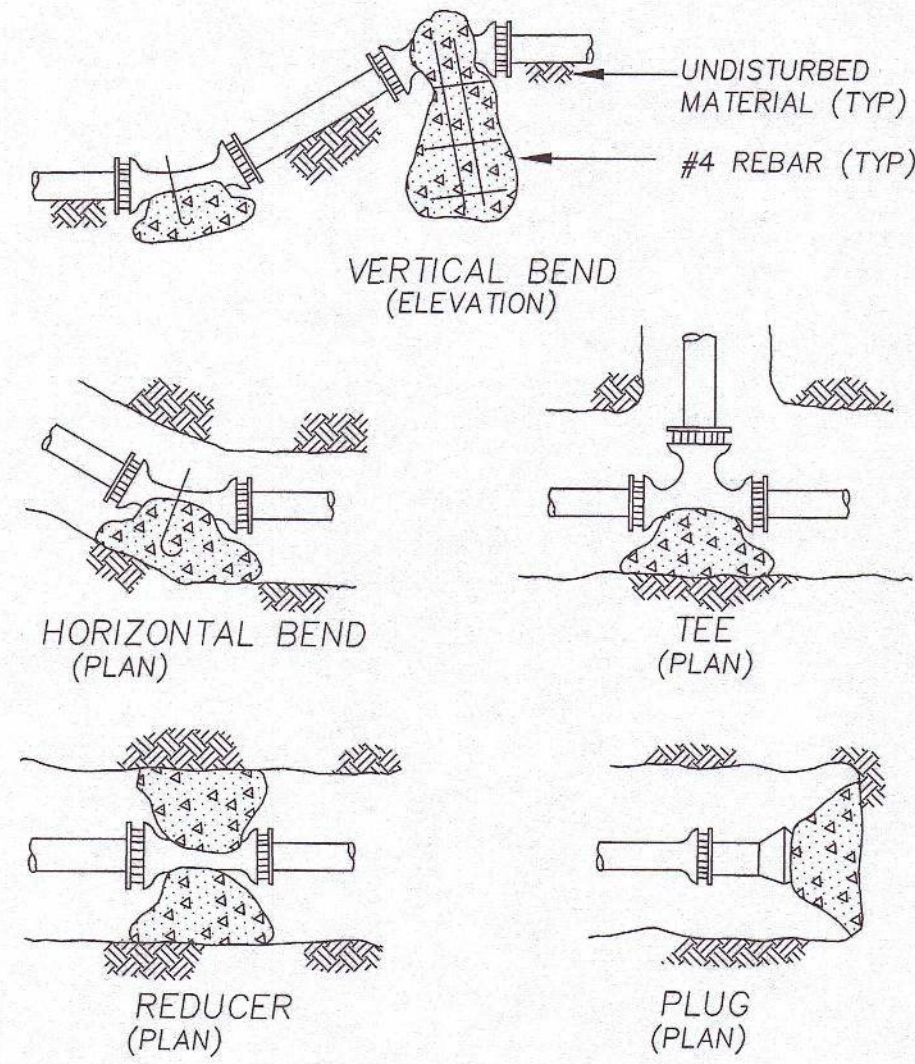
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C-6.0

NOT FOR CONSTRUCTION



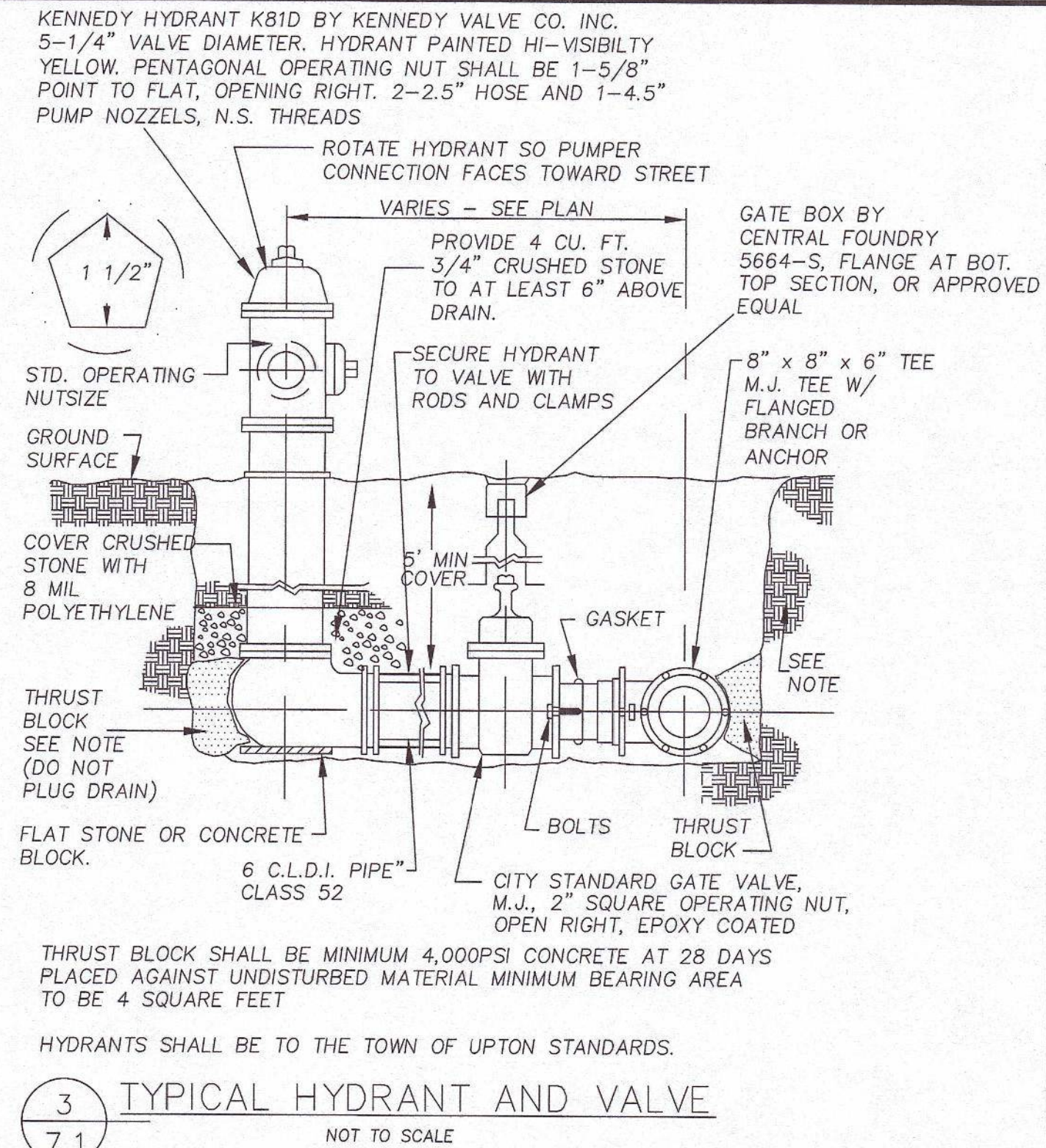
1 BUILDING SEWER CONNECTION
7.1 NOT TO SCALE



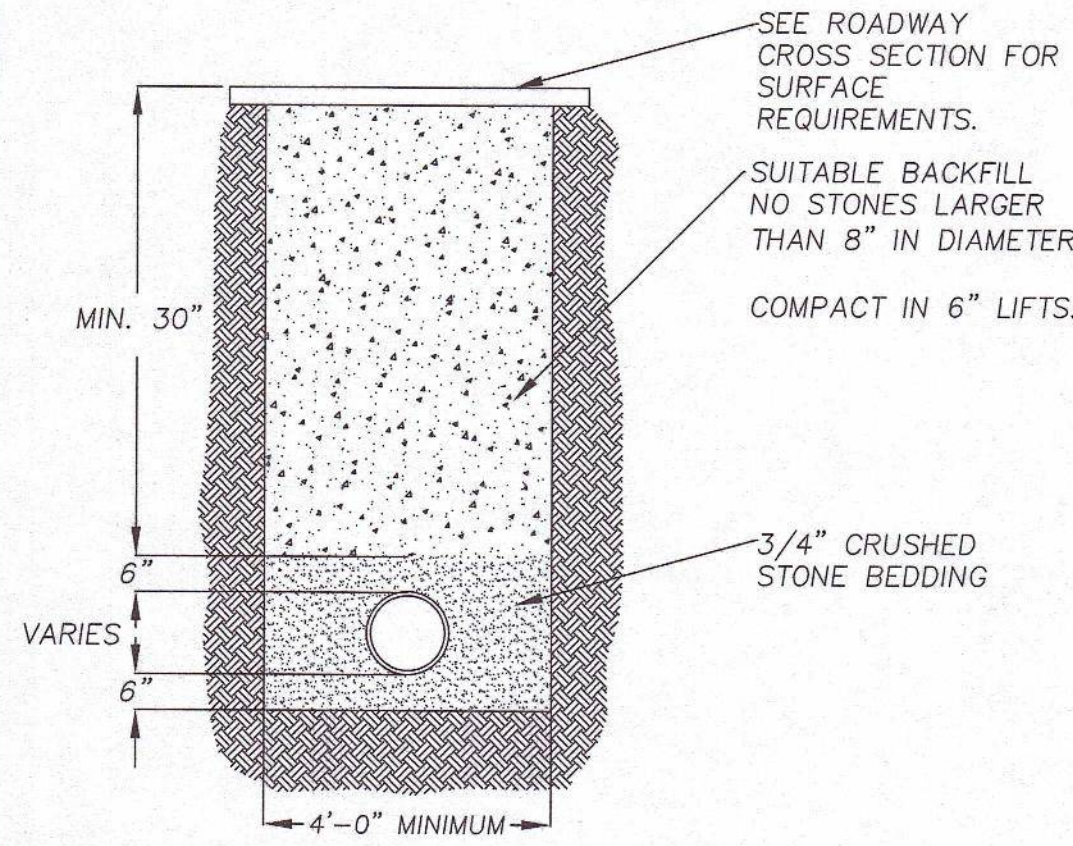
2 THRUST BLOCK DETAILS
7.1 NOT TO SCALE

AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 250 P.S.I. & 1.5 TONS/S.F. ALLOWABLE SOIL BEARING CAPACITY					
PIPE SIZE (IN) BEND	1/4 BEND	1/8 BEND	1/16 & TEES	PLUG	
4, 6, 8,	6.0	2.9	2.3	4.5	
10	9.6	5.2	2.3	6.7	
12	13.3	6.7	3.7	9.6	
16	24.0	11.8	3.7	17.0	

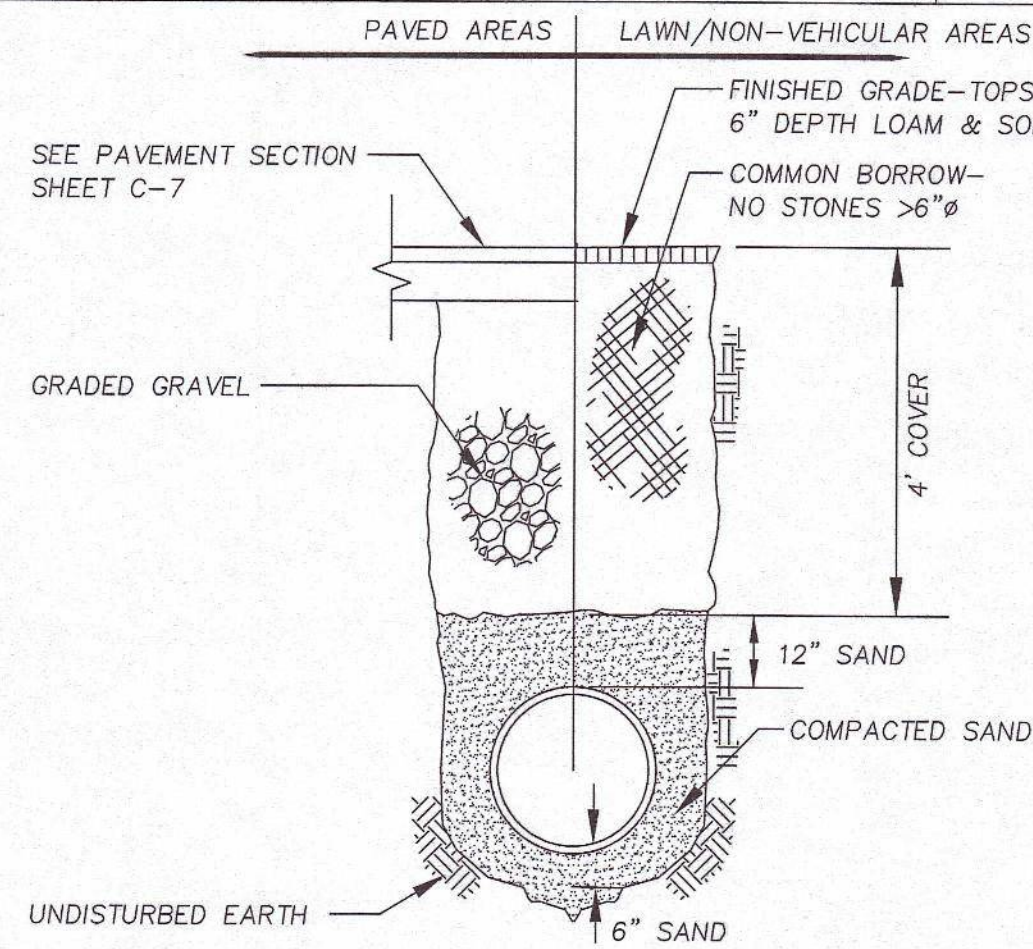
BEARING AREA - SQ. FT.					
NORMAL FITTING DIAMETER	90° BEND	45° BEND	BETWEEN 10°-45°	BRANCH OF TEE	DEAD END
6"	4	2	2	4	4
8"	7	4	3	5	5



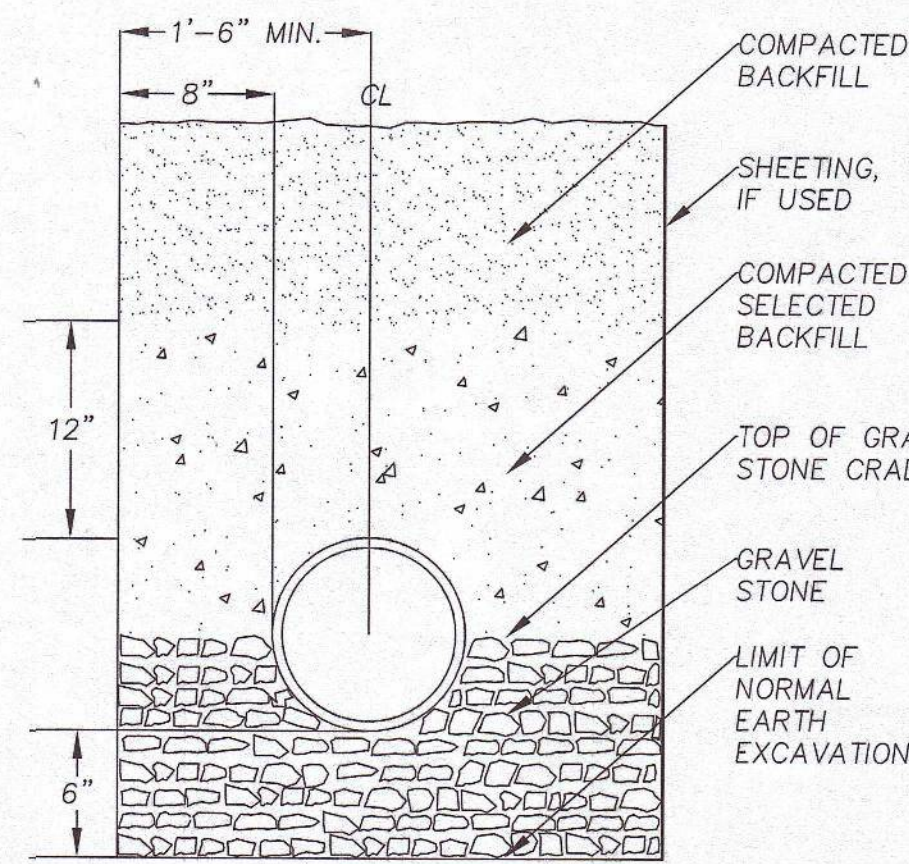
3 TYPICAL HYDRANT AND VALVE
7.1 NOT TO SCALE



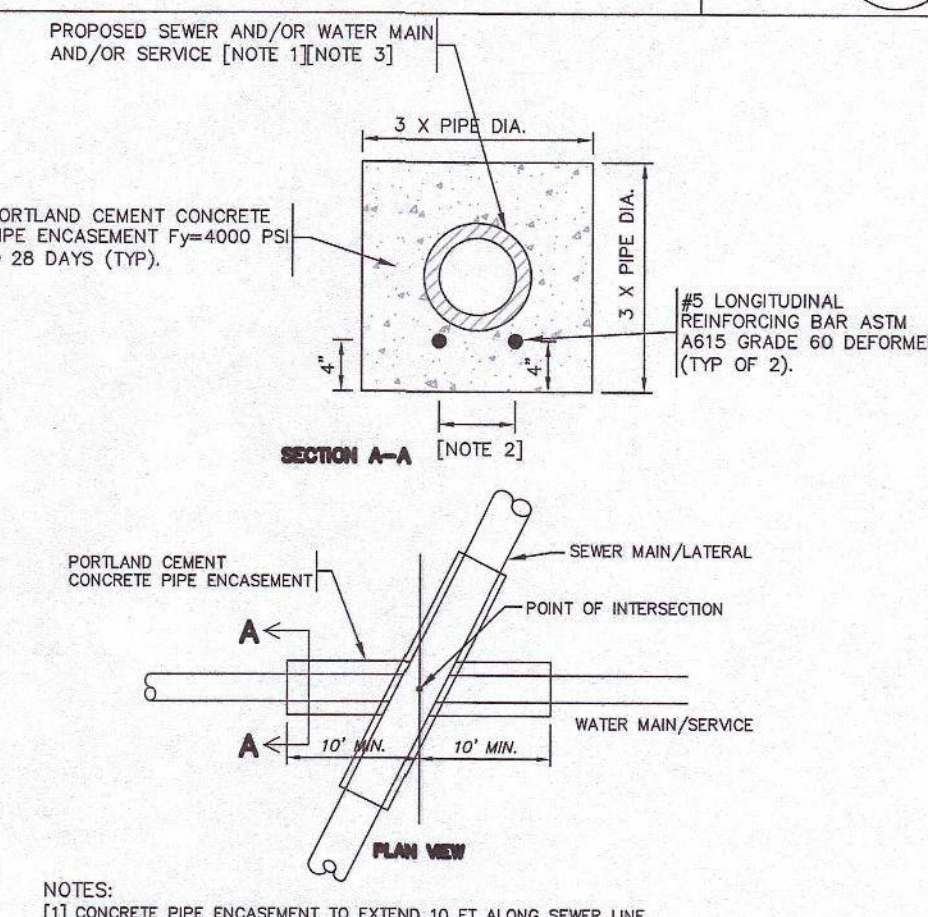
4 TYPICAL SEWER MAIN TRENCH
7.1 NOT TO SCALE



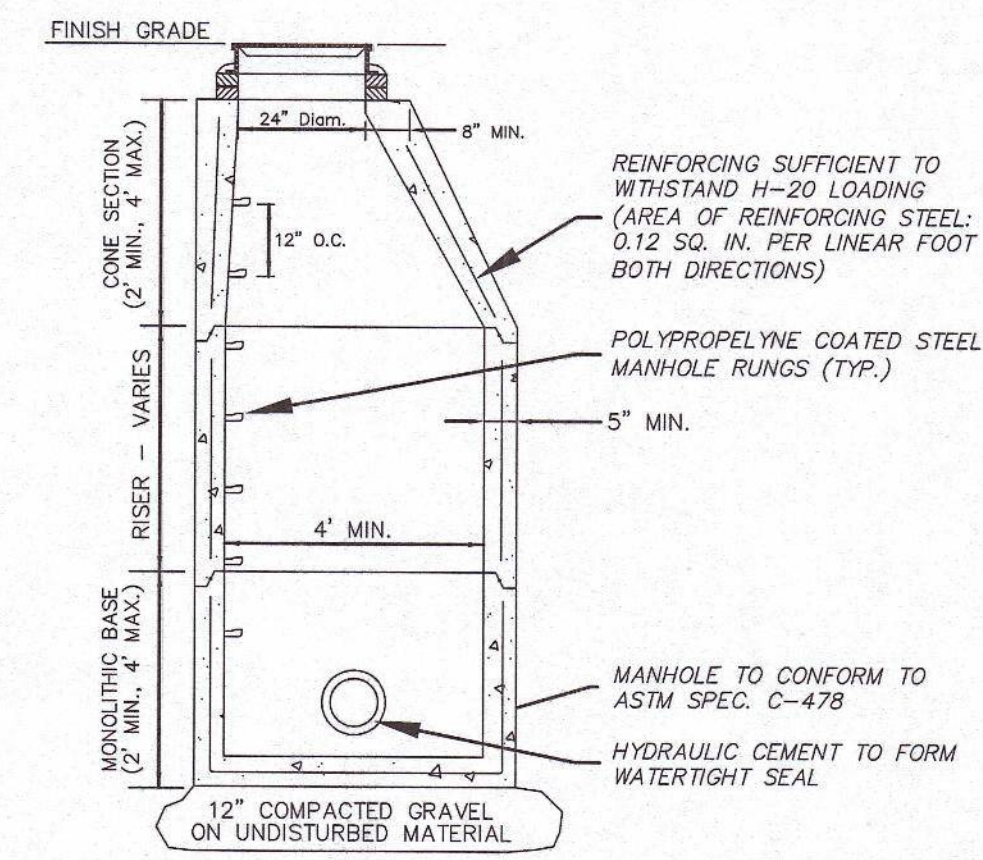
5 WATER MAIN TRENCH
7.1 NOT TO SCALE



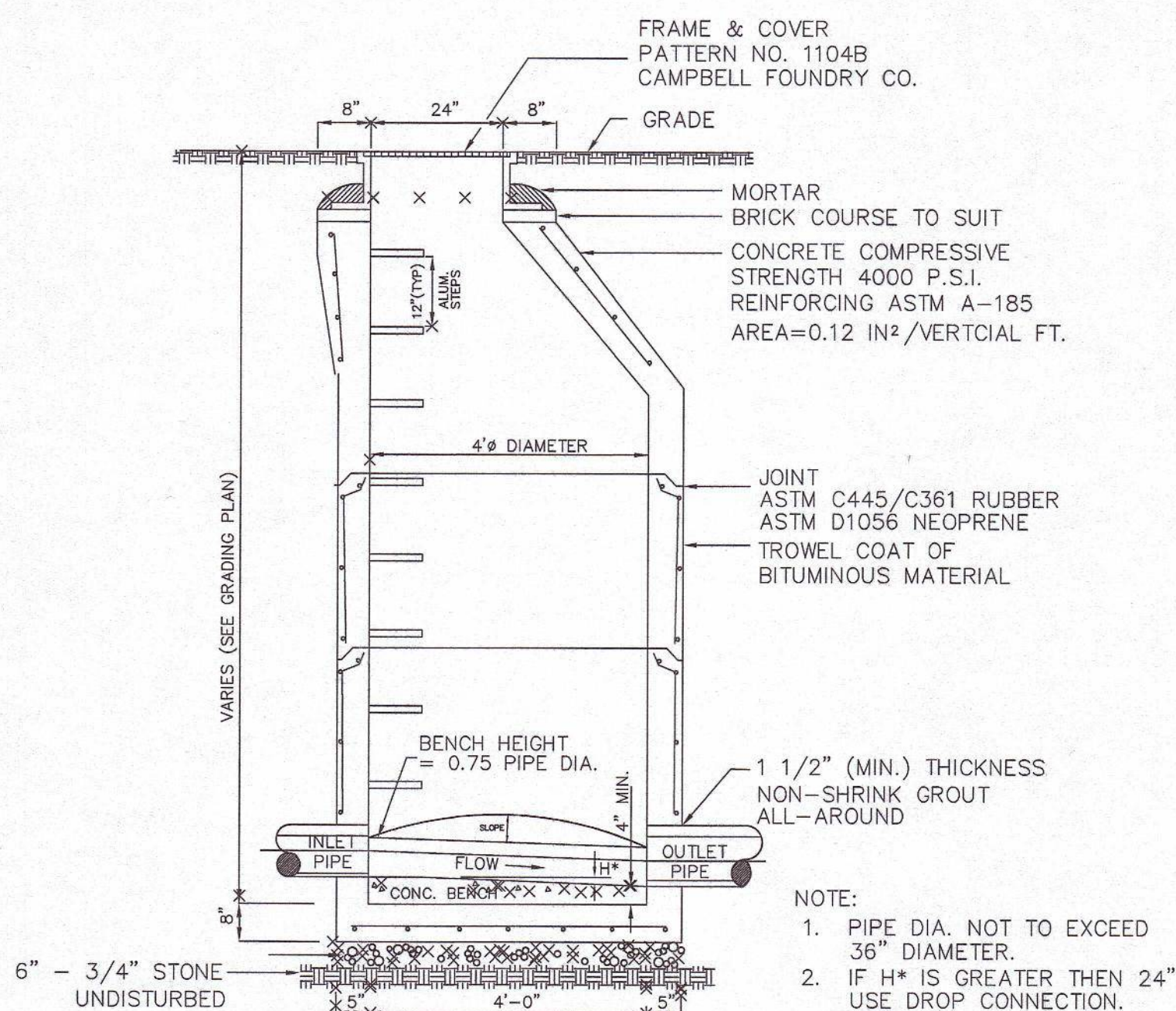
6 TYPICAL DRAIN MAIN TRENCH
7.1 NOT TO SCALE



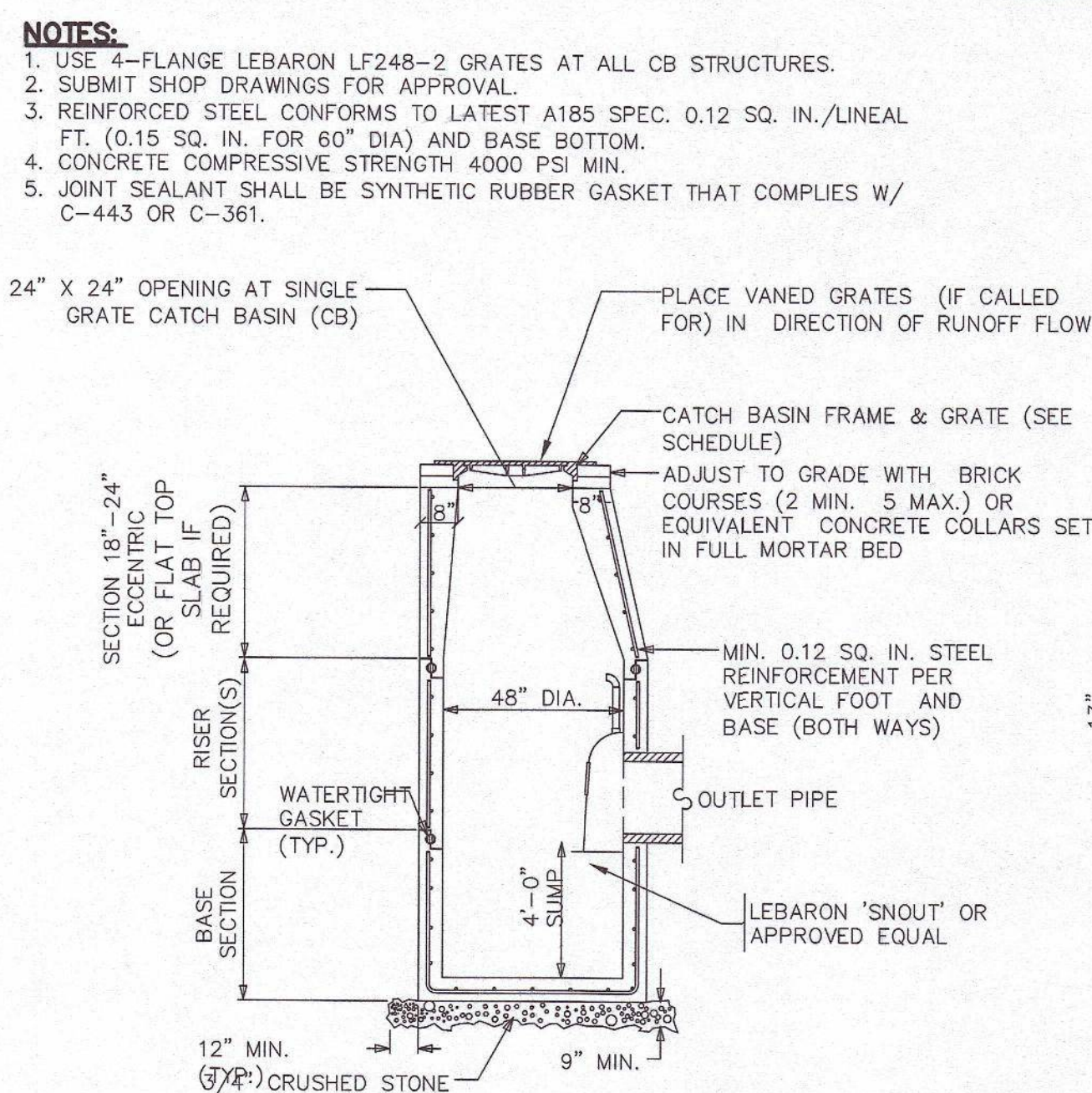
11 PIPE ENCASEMENT
7.1 NOT TO SCALE



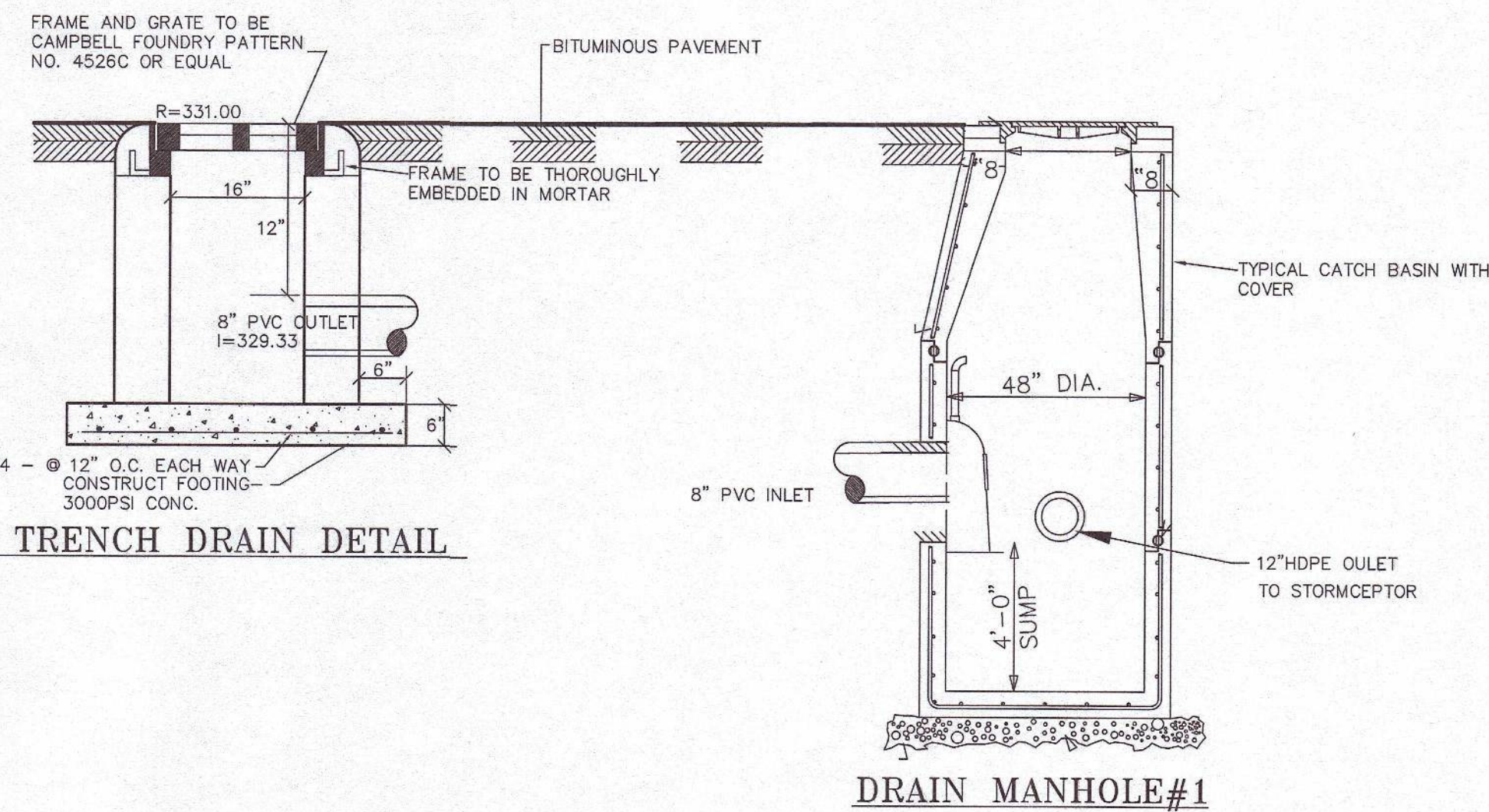
9 PRECAST DRAIN MANHOLE
7.1 NOT TO SCALE



7 STANDARD SANITARY MANHOLE
7.1 NOT TO SCALE



8 PRECAST CONCRETE DEEP SUMP CATCH BASIN
7.1 NOT TO SCALE



10 TRENCH DRAIN DETAIL
7.1 NOT TO SCALE

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/8/24	REVISED PLANS.
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SHEET TITLE
CONSTRUCTION DETAILS

SHEET 1 OF 4

SHEET NO.
C-7.1