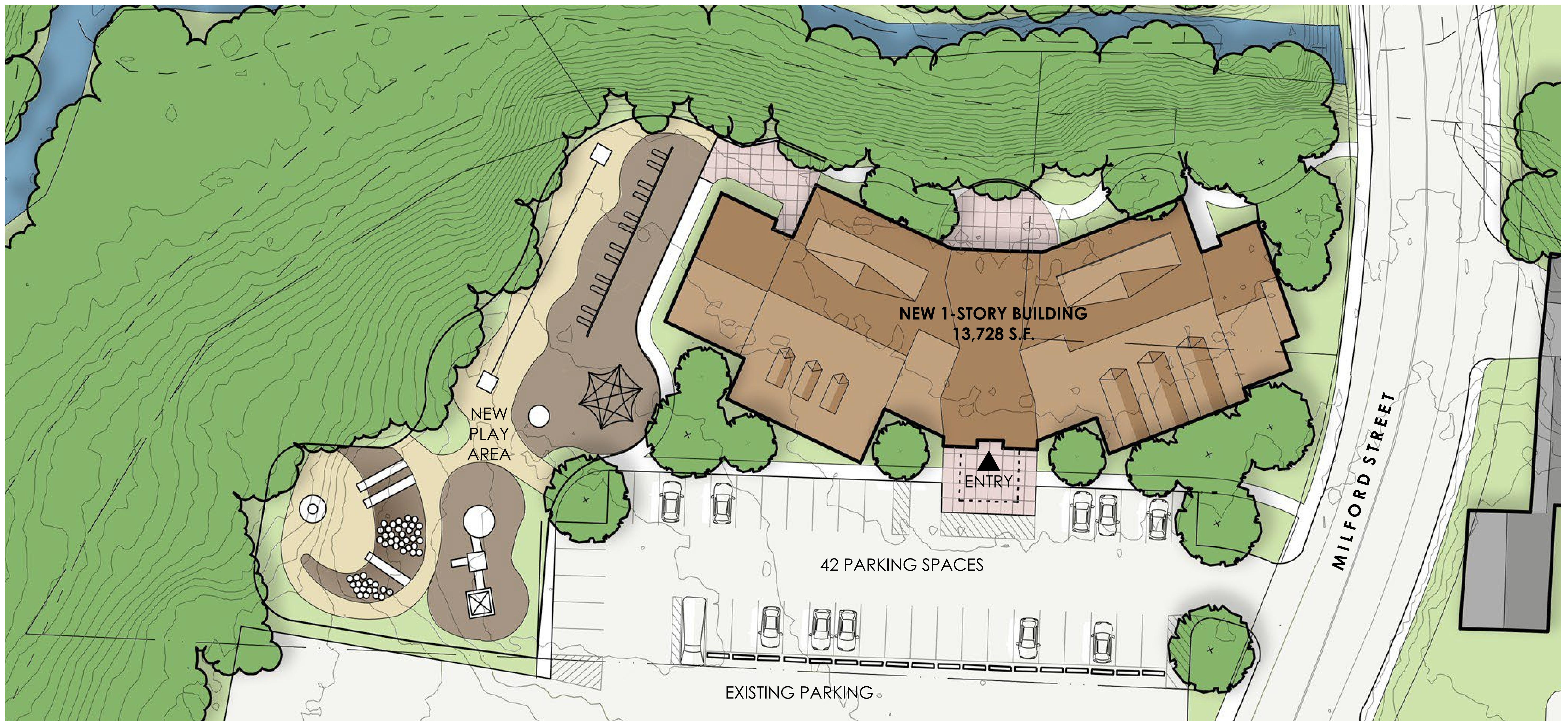


TOWN OF UPTON MUNICIPAL COMMUNITY CENTER



WEST ELEVATION (REAR)



EAST ELEVATION (FRONT)

UPTON MUNICIPAL COMMUNITY CENTER

October 10, 2019



WEST ELEVATION

SCALE: $\frac{1}{16}$ " = 1'-0"

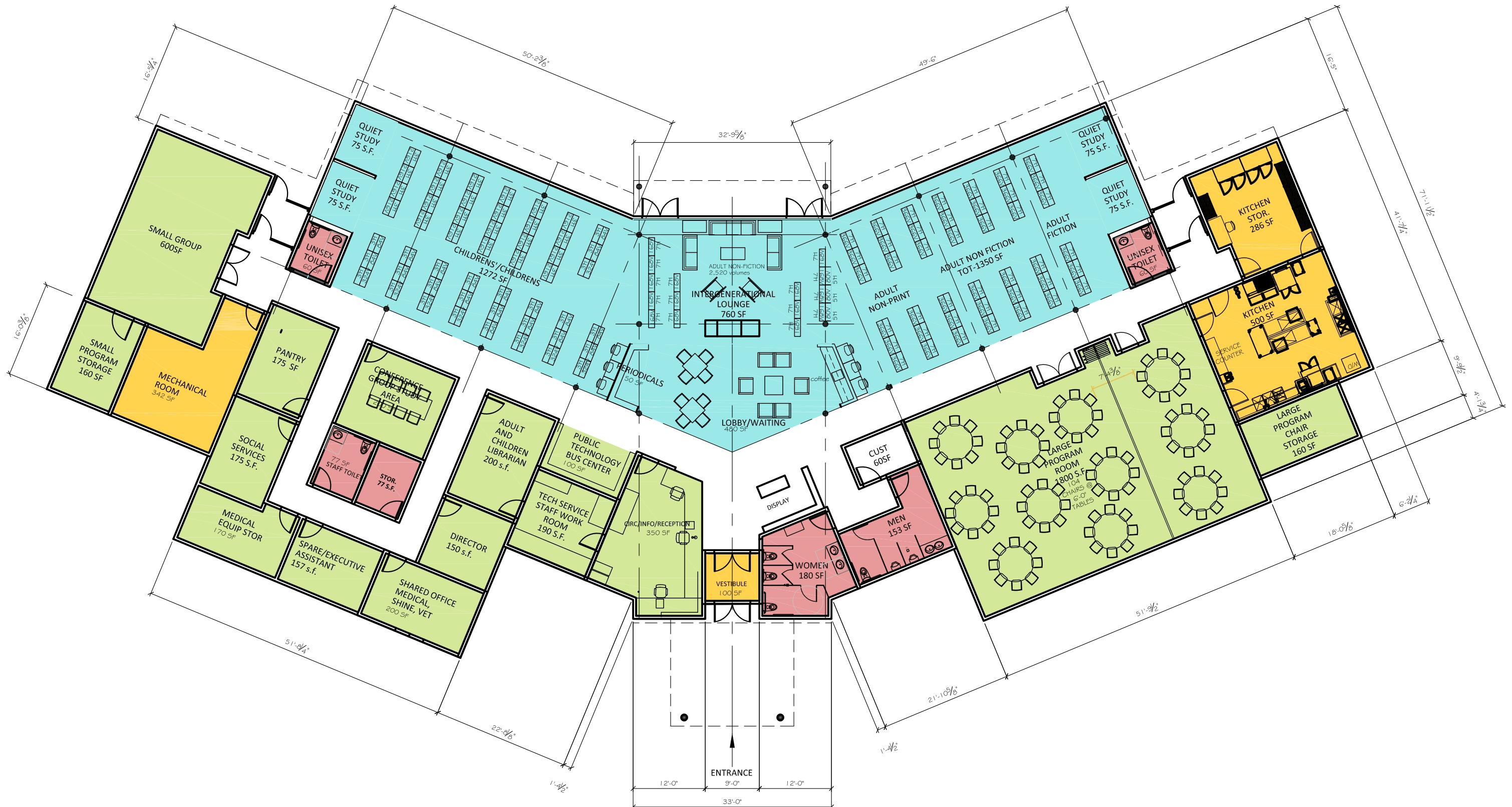


EAST ELEVATION

SCALE: $\frac{1}{16}$ " = 1'-0"

Building Elevations

Scale: 1/16" = 1'-0" Option B3.3



OPTION B3.3

13,728 S.F.



25-Oct-19

**UPTON MUNICIPAL CENTER PRELIMINARY BUDGET
VFW SITE**

	Totals
Building Construction Cost*	\$ 7,344,225
FFE/Technology	\$ 350,000
Design Fees 10%	\$ 734,423
OPM Fee 4%	\$ 293,769
Utility Back Charge	\$ 25,000
Geotechnical	\$ 10,000
Add Services Allowance**	\$ 75,000
Printing	\$ 5,000
Online Project Management	\$ 16,000
Legal/Advertising	\$ 7,500
Material Testing	\$ 10,000
	\$ 8,870,917 subtotal
Owner Contingency 5%	\$ 443,546
	\$ 9,314,462 total ***

* Does not include site or building hazmat abatement

** FFE, Hazmat, etc.

*** Does not include site acquisition costs



Concept Estimate

**Upton Community Center
New Construction Option B3.3**

Upton, MA



PM&C LLC
20 Downer Ave, Suite 5
Hingham, MA 02043
(T) 781-740-8007
(F) 781-740-1012

Prepared for:
Turowski2 Architect, Inc.
October 24, 2019

MAIN CONSTRUCTION COST SUMMARY

	Construction Start	Gross Floor Area	\$/sf	Estimated Construction Cost
NEW COMMUNITY CENTER				
New Construction	Jun-20	13,728	\$341.43	\$4,687,165
Demolish Existing Buildings				N/A
HazMat removals at existing building, not priced				By Owner
Sitework - Trade Costs	Jun-20			\$1,025,073
SUBTOTAL TRADE COSTS BUILDING and SITEWORK		13,728	\$416.10	\$5,712,238
Design and Estimating Contingency	12.0%			\$685,469
Escalation Allowance	3.0%			\$171,367
SUBTOTAL INCLUDING CONTINGENCIES				\$6,569,074
Subcontractor Bonds				In rates
General Conditions	5.0%			\$328,454
General Requirements	2.0%			\$131,381
Insurances - GLI/Builders Risk	1.40%			\$91,967
Bond	0.90%			\$59,122
Overhead + Profit	2.5%			\$164,227
Building Permit				Waived
TOTAL ESTIMATED CONSTRUCTION COST		13,728	\$534.98	\$7,344,225

This conceptual cost estimate was produced from drawings and specifications prepared by T2 Architects and their design team dated October 10th, 2019. Design and engineering changes occurring subsequent to the issue of these documents have not been incorporated in this estimate.

This estimate includes all direct construction costs, general contractors overhead and profit and design contingency. Cost escalation assumes start dates indicated.

Bidding conditions are expected to be public bidding under Chapter 149 of the Massachusetts General Laws to pre-qualified general contractors, and pre-qualified sub-contractors, open specifications for materials and manufacturers.

The estimate is based on prevailing wage rates for construction in this market and represents a reasonable opinion of cost. It is not a prediction of the successful bid from a contractor as bids will vary due to fluctuating market conditions, errors and omissions, proprietary specifications, lack or surplus of bidders, perception of risk, etc. Consequently the estimate is expected to fall within the range of bids from a number of competitive contractors or subcontractors, however we do not warrant that bids or negotiated prices will not vary from the final construction cost estimate.

ITEMS NOT CONSIDERED IN THIS ESTIMATE

Items not included in this estimate are:

- All professional fees and insurance
- Building Permit costs
- Land acquisition, feasibility, and financing costs
- Hazardous Materials Removal costs
- All Furnishings, Fixtures and Equipment
- Items identified in the design as Not In Contract (NIC)
- Items identified in the design as by others
- Owner supplied and/or installed items (e.g. draperies, furniture and equipment)
- Premiums for Net Zero
- Rock excavation; special foundations (unless indicated by design engineers)
- Utility company back charges, including work required off-site
- Work to City streets and sidewalks, (except as noted in this estimate)
- Construction or occupancy phasing or off hours' work, (except as noted in this estimate)



BUILDING SYSTEM	CONSTRUCTION COST SUMMARY				Total	
	Building New Construction	Sitework Backup	Total			
	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	TOTAL	Cost/SF
SUMMARY NEW CONSTRUCTION						
A10 FOUNDATIONS		\$575,541		\$0	\$575,541	
A1010 Standard Foundations	\$424,277				\$424,277	\$30.9
A1020 Special Foundations	\$0				\$0	\$0.0
A1030 Lowest Floor Construction	\$151,264				\$151,264	\$11.0
A20 BASEMENT CONSTRUCTION		\$0		\$0	\$0	
A2010 Basement Excavation	\$0				\$0	
A2020 Basement Walls	\$0				\$0	
B10 SUPERSTRUCTURE		\$395,955		\$0	\$395,955	
B1010 Upper Floor Construction	\$26,040				\$26,040	\$1.9
B1020 Roof Construction	\$369,915				\$369,915	\$26.9
B20 EXTERIOR CLOSURE		\$626,786		\$0	\$626,786	
B2010 Exterior Walls	\$444,292				\$444,292	\$32.4
B2020 Windows	\$150,850				\$150,850	\$11.0
B2030 Exterior Doors	\$31,644				\$31,644	\$2.3
B30 ROOFING		\$462,274		\$0	\$462,274	
B3010 Roof Coverings	\$462,274				\$462,274	\$33.7
B3020 Roof Openings	\$0				\$0	\$0.0
C10 INTERIOR CONSTRUCTION		\$478,894		\$0	\$478,894	
C1010 Partitions	\$200,204				\$200,204	\$14.6
C1020 Interior Doors	\$76,407				\$76,407	\$5.6
C1030 Specialties/Millwork	\$202,283				\$202,283	\$14.7
C20 STAIRCASES		\$5,000		\$0	\$5,000	
C2010 Stair Construction	\$5,000				\$5,000	
C2020 Stair Finishes	\$0				\$0	



BUILDING SYSTEM	CONSTRUCTION COST SUMMARY					
	Building New Construction		Sitelwork Backup		Total	
	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL

SUMMARY NEW CONSTRUCTION

C30 INTERIOR FINISHES		\$668,865		\$0		\$668,865
C3010 Wall Finishes	\$311,026				\$311,026	\$22.7
C3020 Floor Finishes	\$115,371				\$115,371	\$8.4
C3030 Ceiling Finishes	\$242,468				\$242,468	\$17.7
D10 CONVEYING SYSTEMS		\$0		\$0		\$0
D1010 Elevator	\$0				\$0	
D20 PLUMBING		\$192,192		\$0		\$192,192
D2000 Plumbing	\$192,192				\$192,192	\$14.0
D30 HVAC		\$549,120		\$0		\$549,120
D3000 HVAC	\$549,120				\$549,120	\$40.0
D40 FIRE PROTECTION		\$75,504		\$0		\$75,504
D4000 Fire Protection	\$75,504				\$75,504	\$5.5
D50 ELECTRICAL		\$391,248		\$0		\$391,248
D5010 Service & Distribution	\$41,184				\$41,184	\$3.0
D5020 Lighting & Power	\$178,464				\$178,464	\$13.0
D5030 Communication & Security Systems	\$137,280				\$137,280	\$10.0
D5040 Other Electrical Systems	\$34,320				\$34,320	\$2.5
E10 EQUIPMENT		\$154,200		\$0		\$154,200
E1000 Equipment	\$154,200				\$154,200	\$11.2
E20 FURNISHINGS		\$111,586		\$0		\$111,586
E2010 Fixed Furnishings	\$111,586				\$111,586	\$8.1
E2020 Movable Furnishings	\$0					



CONSTRUCTION COST SUMMARY						
<i>BUILDING SYSTEM</i>	<i>Building New Construction</i>		<i>Sitework Backup</i>		<i>Total</i>	
	<i>SUB-TOTAL</i>	<i>TOTAL</i>	<i>SUB-TOTAL</i>	<i>TOTAL</i>	<i>SUB-TOTAL</i>	<i>TOTAL</i>
SUMMARY NEW CONSTRUCTION						
F10 SPECIAL CONSTRUCTION		\$0		\$0		\$0
F1000 Special Construction		\$0				\$0
F20 HAZMAT REMOVALS		\$0		\$0		\$0
F2010 Building Elements Demolition		\$0				\$0
F2020 Hazardous Components Abatement		\$0				\$0
G SITE WORK		\$0		\$1,025,073		\$1,025,073
G1000 Site Preparation & Demolition		\$237,000		\$237,000		\$17.3
G2000 Site Improvements		\$526,373		\$526,373		\$38.3
G3000 Site Utilities		\$261,700		\$261,700		\$19.1
TOTAL DIRECT COST (Trade Costs)	\$4,687,165		\$1,025,073		\$5,712,238	

Concept Estimate

GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

GROSS FLOOR AREA CALCULATION

001	Admin Areas	1,407	sf
002	Admin Storage Areas	411	sf
003	Building Support Kitchen Areas	771	sf
004	Building Support Areas	562	sf
005	Corridor Areas	1,818	sf
006	Public Areas	2,839	sf
007	Public Areas, Intergen. Lounge/Lobby/Children's/Adult's	4,319	sf
008	Toilet Room Areas	555	sf
009	Vestibule Areas	162	sf
010	Balance	884	sf

TOTAL GROSS FLOOR AREA (GFA)

13,728 sf

A10 FOUNDATIONS

A1010 STANDARD FOUNDATIONS

019	Strip Footings	88	CY
020	Foundation Walls	245	CY
021	Spread Footings	27	CY
022	Piers	23	CY

Total Foundation Concrete 383 CY

Strip footings, assume 3'-0" W x 1'-0" D

026	Formwork	1,254	sf	14.00	17,556
027	Re-bar	6,270	lbs.	1.20	7,524
028	Concrete material	73	cy	135.00	9,855
029	Placing concrete	73	cy	90.00	6,570

Foundation wall, assume 12" thick, avg 8'H, 4'below grade, 4' exposed

031	Formwork	10,032	sf	15.00	150,480
032	Re-bar	17,556	lbs.	1.20	21,067
033	Concrete material	195	cy	135.00	26,325
034	Placing concrete	195	cy	90.00	17,550
035	Form shelf	627	lf	6.00	3,762

Foundation spread footing, assume avg size 4'Lx4'Wx1'D

036	Excavation, spread footings	379	cy		
037	Store on site for reuse	379	cy		
038	Backfill with existing fill	354	cy		
039	Formwork	640	sf	13.00	8,320
040	Re-bar	2,309	lbs.	1.20	2,771

041	Concrete material; 3,000 psi	25	cy	135.00	3,375
042	Placing concrete	25	cy	90.00	2,250
043	Set anchor bolts grout plates	40	ea	50.00	2,000
044					

Foundation spread footing, assume avg size 4'Lx4'Wx1'D @ Canopy

045	Excavation, spread footings	38	cy		
046	Store on site for reuse	38	cy		
047	Backfill with existing fill	36	cy		
048	Formwork	64	sf	13.00	832
049	Re-bar	231	lbs.	1.20	277

050	Concrete material; 3,000 psi	2	cy	135.00	270
051	Placing concrete	2	cy	90.00	180
052	Set anchor bolts grout plates	4	ea	50.00	200
053					

Piers/Pilasters

054	Formwork	1,056	sf	16.00	16,896
055	Re-bar	2,760	lbs	1.20	3,312
056	Concrete material	23	cy	135.00	3,105
057	Placing concrete	23	cy	90.00	2,070

Excavation & Backfill

058	<u>Strip footings incl walls</u>				
059	Excavation	813	cy	14.00	11,382
060	Store on site	813	cy	8.00	6,504
061	Backfill with onsite material	480	cy	12.00	5,760
062	<u>Spread footings</u>				

Concept Estimate

GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

066	Excavation	417	cy	14.00	5,838		
067	Store on site	417	cy	8.00	3,336		
068	Backfill with onsite material	390	cy	12.00	4,680		
069	<u>Miscellaneous</u>						
070	Gravel fill beneath footings, 12"	1	ls	10,000.00	10,000		
071	Damproofing as req'd at foundations	13,046	sf	2.00	26,092		
072	Insulation as req'd at foundations	13,046	sf	3.00	39,138		
073							
074	Dewatering for foundation work , allowance	1	ls	5,000.00	5,000		
075	A1010 SUBTOTAL						424,277
076							
077	A1020 SPECIAL FOUNDATIONS						
078	No Work in this section		ls				
079	A1020 SUBTOTAL						-
080							
081	A1030 LOWEST FLOOR CONSTRUCTION						
082	Slab on grade, assume 4", basement		sf		NIC		
083	Slab on grade, assume 4", remainder	13,812	sf				
084	Slab on grade total	13,812					
085	Vapor barrier	13,812	sf	1.00	13,812		
086	Mesh reinforcing 15% lap	15,884	sf	1.10	17,472		
087	Concrete - 4" thick; 4,000 psi	177	cy	125.00	22,125		
088	Water vapor reducer admixture	177	cy	52.00	NR		
089	Place & finish including control joints	13,812	sf	2.50	34,530		
090	Excavation & backfill for slab on grade	552	cy	35.00	19,320		
091	Insulation at slab on grade, 2" - 4ft wide at perimeter only	2,508	sf	2.25	5,643		
092	Base course, 12"	512	cy	38.00	19,456		
093	Compact sub-grade	13,812	sf	0.50	6,906		
094	E & B for underslab plumbing	1	ls	12,000.00	12,000		
095	A1030 SUBTOTAL					\$	151,264
096							

TOTAL - FOUNDATIONS

\$575,541

A20 BASEMENT CONSTRUCTION

101	A2010 BASEMENT EXCAVATION						
102	<u>Excavation & Backfill</u>						
103	<u>Strip footings</u>						
104	Excavation				NIC		
105	Store on site				NIC		
106	Backfill with onsite material				NIC		
107	Excavate & remove for basement				NIC		
108	A2010 SUBTOTAL					\$	-
109							
110	A2020 BASEMENT WALLS						
111	<u>Strip footings, assume 3'-0"W x 1'-0"D</u>						
112	Formwork				NIC		
113	Re-bar				NIC		
114	Concrete material				NIC		
115	Placing concrete				NIC		
116	<u>Foundation wall, assume 12" thick, 10'H.</u>				NIC		
117	Formwork				NIC		
118	Re-bar				NIC		
119	Concrete material				NIC		
120	Placing concrete				NIC		
121	Form shelf				NIC		
122	<u>Miscellaneous</u>						
123	Gravel fill beneath footings, 12"				NIC		
124	Perimeter drain @ basement only				NIC		
125	Waterproofing as req'd at foundations				NIC		
126	Insulation as req'd at foundations				NIC		
127							

Concept Estimate

GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

128	A2020	SUBTOTAL				\$	-					
129	TOTAL - BASEMENT CONSTRUCTION											
130												
131												
132												
133		B10 SUPERSTRUCTURE										
134												
135		B1010 FLOOR CONSTRUCTION										
136		Floor construction, steel framing - Attic										
137		Floor construction, steel framing - slab above basement										
138		Floor deck 2" & light concrete 2"										
139		Misc. anchors bolts, plates as req'd										
140	B1010	SUBTOTAL						\$ 26,040				
141												
142		B1020 ROOF CONSTRUCTION										
143		Roofing, flat - canopy										
144		Roofing, Shingle 12:4										
145		Dormer, 10'-0"W										
146		Dormer, 43'-0"W @ Clerestory										
147		Dormer, 7'-0"W										
148		Misc. anchors bolts, plates as req'd										
149	B1020	SUBTOTAL						\$ 369,915				
150												
151	TOTAL - SUPERSTRUCTURE											
152	\$395,955											
153												
154		B20 EXTERIOR CLOSURE				8,567						
155												
156		B2010 EXTERIOR WALLS										
157		Exterior cladding, assumed cedar shingles										
158		Exterior cladding, foundation cladding, field stone										
159		Exterior cladding, precast band @ foundation wall										
160		Exterior cladding, trim										
161		Chimney Construction for Fireplace										
162		Misc. metals as req'd for façade										
163		Wood blocking as req'd at exterior walls										
164		Joint sealants as req'd at exterior walls										
165		Staging & lifts as req'd										
166		Backup to exterior cladding										
167		Interior GWB face to exterior cladding										
168	B2010	SUBTOTAL						\$ 444,292				
169												
170		B2020 WINDOWS				1,348						
171		Clerestory, West Façade										
172		Curtain Wall, linear										
173		Louvres, sf										
174		Storefront, 9'-6"H										
175		Windows, double hung; aluminum clad wood										
176		Sun screening devices, allow 50% of windows										
177		Wood blocking as req'd at exterior windows										
178		Joint sealants as req'd at exterior windows										
179	B2020	SUBTOTAL						\$ 150,850				
180												
181		B2030 EXTERIOR DOORS										
182		Single Leaf Door Summary				2	ea					
183		Double Leaf Door Summary				3	ea					
184		Door 3070 EXT-ALU				2	ea	2,500.00				
185		Door 6070 EXT-ALU				3	ea	5,000.00				
186		Frames included w/ curtainwall & storefront				5	ea	15,000				
187		Hardware				8	ea	1,200.00				
								9,600				

Concept Estimate

GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

188	Wood blocking as req'd at exterior doors	94	lf	7.00	658		
189	Joint sealants as req'd at exterior doors, interior & exterior	154	lf	9.00	1,386		
190	B2030 SUBTOTAL					\$ 31,644	

192	TOTAL - EXTERIOR CLOSURE	\$626,786
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B30 ROOFING

B3010 ROOF COVERINGS

198	Roof Area Summary	15,727	sf				
199	Roof Edge Perimeter Summary	1,244	lf				
200							
201	Roofing, flat - canopy, assume PVC, complete system	600	sf	18.00	10,800		
202	Roofing, Shingle 12:4 - assume asphalt, complete system	15,127	sf	24.00	363,048		
203	Dormer, 10'-0" W	3	ea	2,000.00	6,000		
204	Dormer, 43'-0" W @ Clerestory, Roof Covering	2	ea	4,300.00	8,600		
205	Dormer, 7'-0" W, Roof Covering	3	ea	1,400.00	4,200		
206	Roof soffit, underside entrance/canopy	600	sf	20.00	12,000		
207	Roof edge flashing & fascia assembly, flat roof	101	lf	20.00	2,020		
208	Roof edge flashing & fascia assembly, sloped shingle roof	1143	lf	30.00	34,290		
209	Roof to wall flashing	195	lf	20.00	3,900		
210	Wood blocking at roof edge	2,488	lf	7.00	17,416		
211	B3010 SUBTOTAL					\$ 462,274	

B3020 ROOF OPENINGS

214	No Work in this section						
215	B3020 SUBTOTAL					\$ -	

217	TOTAL - ROOFING	\$462,274
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C10 INTERIOR CONSTRUCTION

C1010 PARTITIONS

223	One sided GWB Walls Summary		sf				
224	Two sided GWB Walls Summary	14,013	sf				
225	Two sided CMU Walls Summary		sf				
226							
227	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 13'H	1456	sf	12.00	17,472		
228	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 16'H	4048	sf	12.00	48,576		
229	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 18'H	990	sf	12.00	11,880		
230	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 20'H	6940	sf	12.00	83,280		
231	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 13'H	325	sf	14.50	4,713		
232	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 16'H	128	sf	14.50	1,856		
233	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 18'H	126	sf	14.50	1,827		
234	Interior Storefront, metal framed 10'H @ Vestibule (3 Locations)	360	sf	85.00	30,600		
235	C1010 SUBTOTAL					\$ 200,204	

C1020 INTERIOR DOORS

238	Single Leaf Door Summary	26	ea				
239	Double Leaf Door Summary	3	ea				
240							
241	Frame 3070 INT - HM	26	ea	400.00	10,400		
242							
243	Door 3070 INT- ALU, w/ Full Lite	5	ea	900.00	4,500		
244	Door 3070 INT- FRP	5	ea	600.00	3,000		

Concept Estimate

GFA 13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

245	Door 3070 INT- HM	9	ea	500.00	4,500		
246	Door 3070 INT- HM w/ Sidelite	7	ea	500.00	3,500		
247	Door 6070 INT- ALU, w/ Full Lite	3	ea	1,800.00	5,400		
248							
249	Hardware	32	ea	800.00	25,600		
250							
251	Sidelite frame & glazing	147	sf	85.00	12,495		
252							
253	Wood blocking at openings	502	lf	6.00	3,012		
254	Paint doors & frames	32	ea	125.00	4,000		
255	C1020 SUBTOTAL					\$ 76,407	
256							
257	C1030 SPECIALTIES / MILLWORK						
258	Column covers, 20'H @ Intergen lounge	17	ea	1,500.00	25,500		
259	Window trim, wood	1,348	lf	5.00	6,740		
260	Door trim, wood	502	lf	12.00	6,024		
261	Partition, divider @ Quiet Study	160	sf	50.00	8,000		
262	Partition, folding @ Large Program Area	555	sf	75.00	41,625		
263	TA - Grab bars	5	ea	300.00	1,500		
264	TA - Hand dryer	5	ea	650.00	3,250		
265	TA - Janitor's mop & bucket holder/storage shelving	1	ea	1,500.00	1,500		
266	TA - Mirror, framed	7	ea	200.00	1,400		
267	TA - Paper towel dispenser	5	ea	250.00	1,250		
268	TA - Sanitary napkin disposal	5	ea	175.00	875		
269	TA - Soap dispenser	7	ea	50.00	350		
270	TA - Toilet paper holder	7	ea	125.00	875		
271	TA - Waste bin	5	ea	100.00	500		
272	Toilet compartment, ADA	2	ea	1,600.00	3,200		
273	Toilet compartment, standard	2	ea	1,200.00	2,400		
274	Urinal Screen	2	ea	55.00	1,100		
275	Door signage	29	ea	150.00	4,350		
276	Way finding/directory	3	ea	900.00	2,700		
277	Entrance signage	1	ls	5,800.00	5,800		
278	Gas fireplace, large double sided @ Intergen. Lounge	1	ls	25,000.00	25,000		
279	Visual display boards, tackboards, markerboards, allowance	13,728	gsf	1.00	13,728		
280	Misc. Millwork & Specialties not shown, allowance	13,728	gsf	2.00	27,456		
281	Wood blocking as req'd for specialties & millwork installation	13,728	gsf	1.25	17,160		
282	C1030 SUBTOTAL					\$ 202,283	

TOTAL - INTERIOR CONSTRUCTION

\$478,894

C20 STAIRCASES

289	C2010 STAIR CONSTRUCTION						
290	Stair to partial basement					NIC	
291	Heavy Duty Pulldown Stair to Attic	1	ea	5,000.00	5,000		
292	C2010 SUBTOTAL					\$ 5,000	

C2010 STAIR FINISHES

295	090007 Concrete finish to partial basement stair					NIC	
296	C2020 SUBTOTAL					\$ -	

TOTAL - STAIRCASES

\$5,000

C30 INTERIOR FINISHES

303	C3010 WALL FINISHES						
304	Ceramic tile @ toilet rooms	5,550	sf	22.00	122,100		
305	FRP wall panel @ Kitchen, allowance	1,580	sf	14.00	22,120		
306	Wood/acoustic paneling, trim, accent as req'd @ Intergen Lounge, allowance for 50% of walls	3,510	sf	35.00	122,850		

Concept Estimate

GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

307							
308	Paint partitions, gwb	28,026	sf	1.25	35,033		
309	Misc. painting as req'd throughout	13,728	gsf	0.65	8,923		
310	C3010 SUBTOTAL					\$ 311,026	
311							
312	C3020 FLOOR FINISHES	13,928	sf		-		
313	Admin Areas, assume carpet	1,407	sf	6.22	8,752		
314	Admin Storage Areas, assume resilient	411	sf	4.00	1,644		
315	Building Support Kitchen Areas, assume kitchen grade epoxy	771	sf	18.00	13,878		
316	Building Support Areas, assume resilient	1,646	sf	4.00	6,584		
317	Corridor Areas, assume LVT	1,818	sf	5.50	9,999		
318	Public Areas, assume carpet	2,839	sf	6.22	17,659		
319	Public Areas, Intergen. Lounge/Lobby/Children's/Adult's, assume carpet	4,319	sf	6.22	26,864		
320	Toilet Room Areas, assume ceramic tile	555	sf	20.00	11,100		
321	Vestibule Areas, assume resilient & walk off entry matt	162	sf	7.00	1,134		
322							
323	Ceramic base	555	lf	15.00	8,325		
324	Rubber base	2358	lf	4.00	9,432		
325							
326	C3020 SUBTOTAL					\$ 115,371	
327							
328	C3030 CEILING FINISHES	13,928	sf		-		
329	Admin Areas, assume ACT	1,407	sf	6.00	8,442		
330	Admin Storage Areas, assume GWB	411	sf	12.00	4,932		
331	Building Support Kitchen Areas , assume ACT	771	sf	6.50	5,012		
332	Building Support Areas, assume ACT	1,646	sf	6.00	9,876		
333	Corridor Areas, assume ACT	1,818	sf	6.00	10,908		
334	Public Areas, assume ACT	2,839	sf	6.00	17,034		
335	Public Areas, Intergen. Lounge/Lobby/Children's/Adult's, assume acoustic wood ceiling	4,319	sf	30.00	129,570		
336	Toilet Room Areas, assume MRGWB	555	sf	10.00	5,550		
337	Vestibule Areas, assume wood soffit	162	sf	25.00	4,050		
338	Drywall soffits & returns	3683	sf	12.00	44,196		
339	Paint GWB ceiling	966	sf	3.00	2,898		
340	C3030 SUBTOTAL					\$ 242,468	
341							

TOTAL - INTERIOR FINISHES	\$668,865
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D10 CONVEYING SYSTEMS	
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D1010 ELEVATOR	
No Work in this section	
D1010 SUBTOTAL	\$ -

TOTAL - CONVEYING SYSTEMS	
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D20 PLUMBING	
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D2000 PLUMBING, GENERALLY	
Plumbing, generally	
D2000 SUBTOTAL	\$ 192,192

TOTAL - PLUMBING	\$192,192
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D30 HVAC	
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D3000 HVAC, GENERALLY	
HVAC, Generally	
D3000 SUBTOTAL	\$ 549,120

TOTAL - HVAC	\$549,120
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Concept Estimate

GFA 60,000

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Sitework Backup

GROSS FLOOR AREA CALCULATION

001	Site Area	60,000
002		

TOTAL GROSS FLOOR AREA (GFA)

60,000 sf

G SITEWORK

G1000 SITE PREPARATION & DEMOLITION

010	Demo & remove existing buildings					NIC
011	Demo & remove existing hardscape & site furnishings	60,000	sf	1.25	75,000	
012	Demo & remove vegetation & softscape	60,000	sf	0.50	30,000	
013	Site construction fence	600	lf	20.00	12,000	
014	Site grading & earth work	60,000	sf	2.00	120,000	
015	Assume stable soil conditions, no premiums for contaminated soils					
016	G1000 SUBTOTAL					237,000

G2000 SITE IMPROVEMENTS

019	Curbing, granite 6"W	360	lf	40.00	14,400	
020	Curbing, granite 6"W, along sidewalk	370	lf	40.00	14,800	
021	Paving, bit. concrete 4"D @ Parking w/ gravel base	14,000	sf	4.00	56,000	
022	Repairs to extg. Lot	30,000	sf			NIC
023	Paving, concrete - pedestrian, 7"D w/ gravel base	3,617	sf	8.00	28,936	
024	Paving, concrete sidewalk 7"D w/ gravel base	1,204	sf	8.00	9,632	
025	Unit paving, granite @ Outdoor Terrace w/ gravel/concrete base	2,283	sf	34.00	77,622	
026	Rip rap stone along brook edge, allowance	2,600	sf	8.00	20,800	
027	Site furnishing, pavement markings, HC	2	ea	150.00	300	
028	Site furnishing, pavement markings, standard	41	ea	100.00	4,100	
029	Site furnishing, pavement markings, striping	1	ls	1,398.00	1,398	
030	Site landscape, play area - assume grass	13,300	sf	1.25	16,625	
031	Playground equipment, allowance	1	ls	150,000.00	150,000	
032	Repairs to extg. Play area	16,300	sf			NIC
033	Site landscape, shrubs & ornamental grass plantings	8,815	sf	4.00	35,260	
034	Site landscape, tree - large deciduous	8	ea	1,200.00	9,600	
035	Site landscape, tree - multi-stem ornamental	9	ea	800.00	7,200	
036	Site-cast concrete, retaining seat wall w/ granite veneer & cap 1'-6"W	66	lf	450.00	29,700	
037	Other site furnishings not shown, allowance	1	ls	50,000.00	50,000	
038	G2000 SUBTOTAL					526,373

G3000 SITE UTILITY

041	Site water, allowance	1	ls	30,000.00	30,000	
042	Site sewer, allowance	1	ls	15,000.00	15,000	
043	Site storm, allowance	19,900	sf	8.00	159,200	
044	Site gas, allowance	1	ls	7,500.00	7,500	
045	Site electrical, allowance	1	ls	20,000.00	20,000	
046	Site lighting, allowance	1	ls	30,000.00	30,000	
047	G3000 SUBTOTAL					261,700

TOTAL - SITEWORK

\$1,025,073



0 20 40 FT

