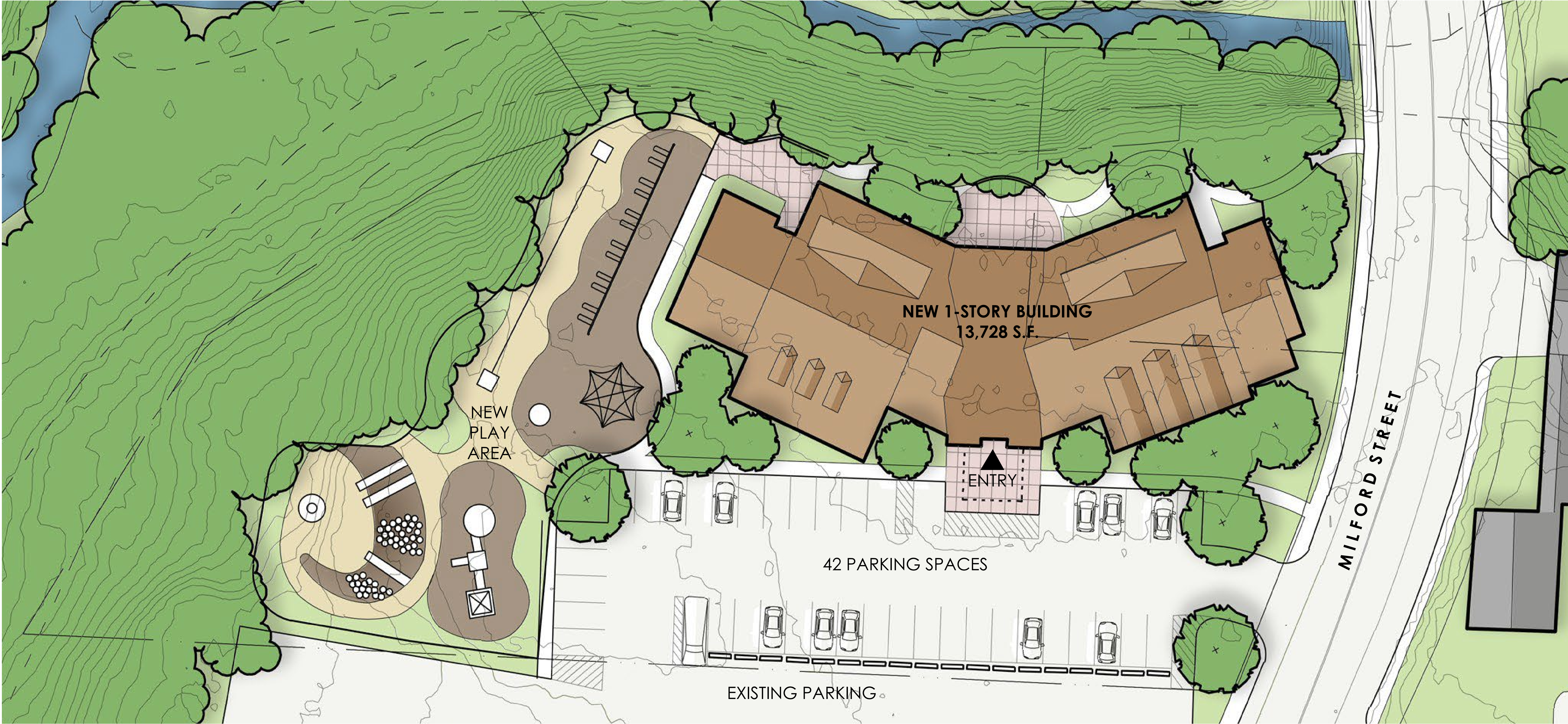
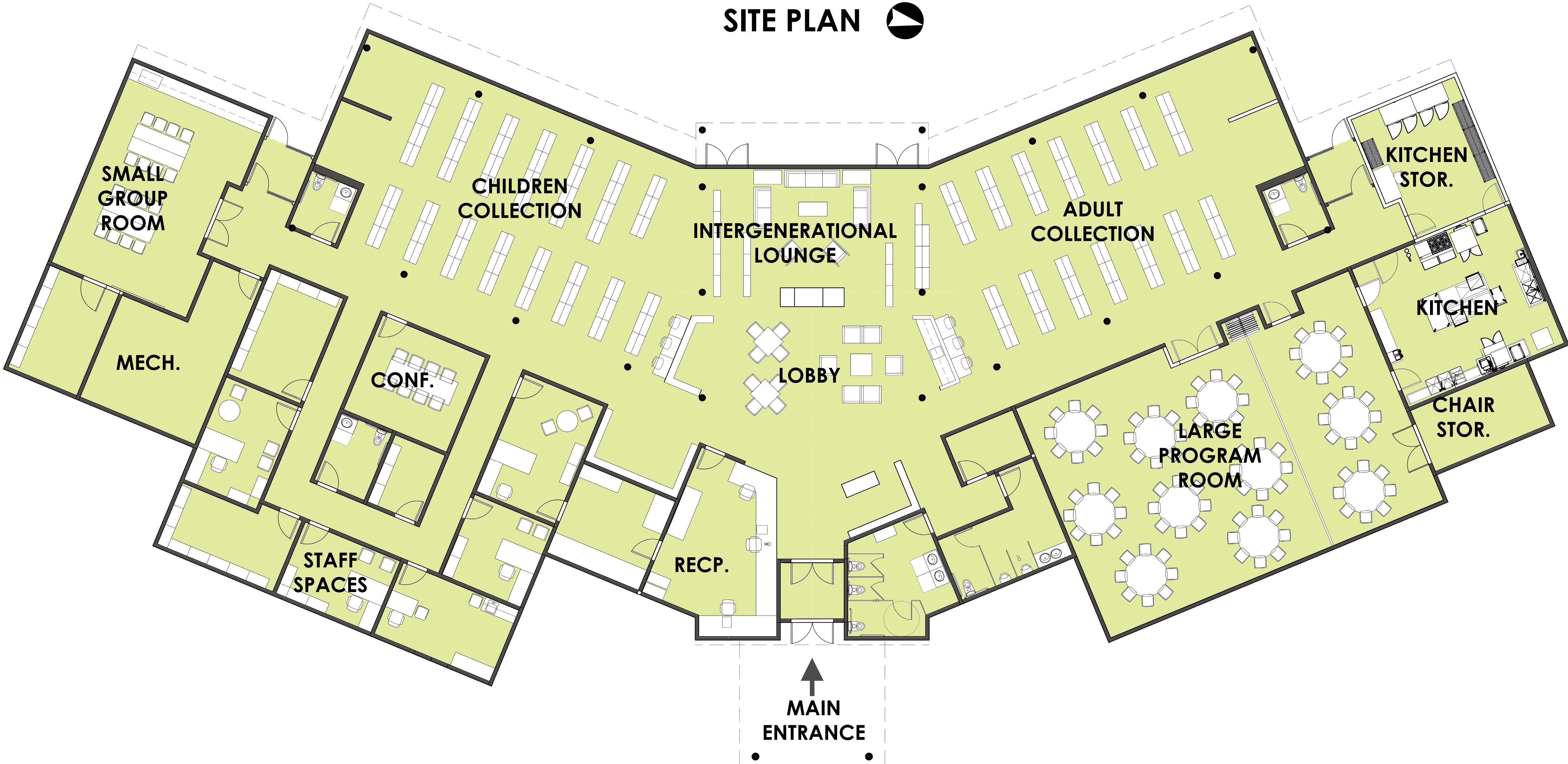


TOWN OF UPTON

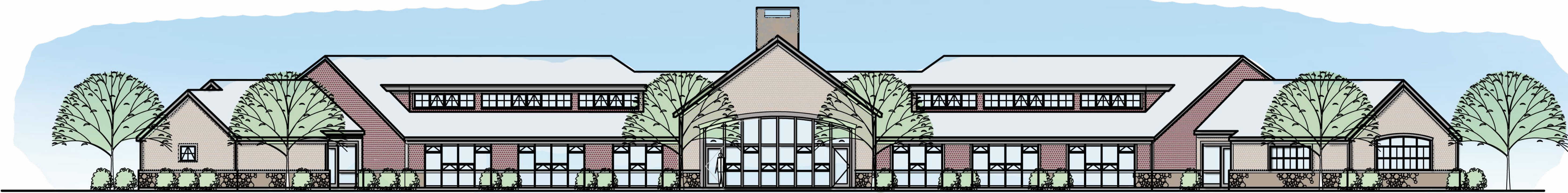
MUNICIPAL COMMUNITY CENTER



SITE PLAN



FLOOR PLAN



WEST ELEVATION (REAR)



EAST ELEVATION (FRONT)

UPTON MUNICIPAL COMMUNITY CENTER

October 10, 2019



WEST ELEVATION

SCALE: $\frac{1}{16}" = 1'-0"$



EAST ELEVATION

SCALE: $\frac{1}{16}" = 1'-0"$

Building Elevations

Scale: $\frac{1}{16}" = 1'-0"$ Option B3.3



25-Oct-19

**UPTON MUNICIPAL CENTER PRELIMINARY BUDGET
VFW SITE**

	Totals	
Building Construction Cost*	\$ 7,344,225	
FFE/Technology	\$ 350,000	
Design Fees 10%	\$ 734,423	
OPM Fee 4%	\$ 293,769	
Utility Back Charge	\$ 25,000	
Geotechnical	\$ 10,000	
Add Services Allowance**	\$ 75,000	
Printing	\$ 5,000	
Online Project Management	\$ 16,000	
Legal/Advertising	\$ 7,500	
Material Testing	\$ 10,000	
	\$ 8,870,917	subtotal
Owner Contingency 5%	\$ 443,546	
	\$ 9,314,462	total ***

* Does not include site or building hazmat abatement

** FFE, Hazmat, etc.

*** Does not include site acquisition costs



Concept Estimate

Upton Community Center New Construction Option B3.3

Upton, MA

PM&C LLC
20 Downer Ave, Suite 5
Hingham, MA 02043
(T) 781-740-8007
(F) 781-740-1012

Prepared for:
Turowski2 Architect, Inc.

October 24, 2019

MAIN CONSTRUCTION COST SUMMARY

	Construction Start	Gross Floor Area	\$/sf	Estimated Construction Cost
NEW COMMUNITY CENTER				
New Construction	Jun-20	13,728	\$341.43	\$4,687,165
Demolish Existing Buildings				N/A
HazMat removals at existing building, not priced				By Owner
Sitework - Trade Costs	Jun-20			\$1,025,073
SUBTOTAL TRADE COSTS BUILDING and SITEWORK		13,728	\$416.10	\$5,712,238
Design and Estimating Contingency	12.0%			\$685,469
Escalation Allowance	3.0%			\$171,367
SUBTOTAL INCLUDING CONTINGENCIES				\$6,569,074
Subcontractor Bonds				In rates
General Conditions	5.0%			\$328,454
General Requirements	2.0%			\$131,381
Insurances - GLI/Builders Risk	1.40%			\$91,967
Bond	0.90%			\$59,122
Overhead + Profit	2.5%			\$164,227
Building Permit				Waived
TOTAL ESTIMATED CONSTRUCTION COST		13,728	\$534.98	\$7,344,225

This conceptual cost estimate was produced from drawings and specifications prepared by T2 Architects and their design team dated October 10th, 2019. Design and engineering changes occurring subsequent to the issue of these documents have not been incorporated in this estimate.

This estimate includes all direct construction costs, general contractors overhead and profit and design contingency. Cost escalation assumes start dates indicated.

Bidding conditions are expected to be public bidding under Chapter 149 of the Massachusetts General Laws to pre-qualified general contractors, and pre-qualified sub-contractors, open specifications for materials and manufacturers.

The estimate is based on prevailing wage rates for construction in this market and represents a reasonable opinion of cost. It is not a prediction of the successful bid from a contractor as bids will vary due to fluctuating market conditions, errors and omissions, proprietary specifications, lack or surplus of bidders, perception of risk, etc. Consequently the estimate is expected to fall within the range of bids from a number of competitive contractors or subcontractors, however we do not warrant that bids or negotiated prices will not vary from the final construction cost estimate.

ITEMS NOT CONSIDERED IN THIS ESTIMATE

Items not included in this estimate are:

- All professional fees and insurance
- Building Permit costs
- Land acquisition, feasibility, and financing costs
- Hazardous Materials Removal costs
- All Furnishings, Fixtures and Equipment
- Items identified in the design as Not In Contract (NIC)
- Items identified in the design as by others
- Owner supplied and/or installed items (e.g. draperies, furniture and equipment)
- Premiums for Net Zero
- Rock excavation; special foundations (unless indicated by design engineers)
- Utility company back charges, including work required off-site
- Work to City streets and sidewalks, (except as noted in this estimate)
- Construction or occupancy phasing or off hours' work, (except as noted in this estimate)



Upton Community Center
New Construction Option B3.3
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Concept Estimate

GFA

13,728

CONSTRUCTION COST SUMMARY

BUILDING SYSTEM	Building New Construction		Sitework Backup		Total		Cost/SF
	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	
A10 FOUNDATIONS		\$575,541		\$0		\$575,541	
A1010 Standard Foundations	\$424,277				\$424,277		\$30.9
A1020 Special Foundations	\$0				\$0		\$0.0
A1030 Lowest Floor Construction	\$151,264				\$151,264		\$11.0
A20 BASEMENT CONSTRUCTION		\$0		\$0		\$0	
A2010 Basement Excavation	\$0				\$0		
A2020 Basement Walls	\$0				\$0		
B10 SUPERSTRUCTURE		\$395,955		\$0		\$395,955	
B1010 Upper Floor Construction	\$26,040				\$26,040		\$1.9
B1020 Roof Construction	\$369,915				\$369,915		\$26.9
B20 EXTERIOR CLOSURE		\$626,786		\$0		\$626,786	
B2010 Exterior Walls	\$444,292				\$444,292		\$32.4
B2020 Windows	\$150,850				\$150,850		\$11.0
B2030 Exterior Doors	\$31,644				\$31,644		\$2.3
B30 ROOFING		\$462,274		\$0		\$462,274	
B3010 Roof Coverings	\$462,274				\$462,274		\$33.7
B3020 Roof Openings	\$0				\$0		\$0.0
C10 INTERIOR CONSTRUCTION		\$478,894		\$0		\$478,894	
C1010 Partitions	\$200,204				\$200,204		\$14.6
C1020 Interior Doors	\$76,407				\$76,407		\$5.6
C1030 Specialties/Millwork	\$202,283				\$202,283		\$14.7
C20 STAIRCASES		\$5,000		\$0		\$5,000	
C2010 Stair Construction	\$5,000				\$5,000		
C2020 Stair Finishes	\$0				\$0		



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CONSTRUCTION COST SUMMARY

BUILDING SYSTEM	Building New Construction		Sitework Backup		Total		Cost/SF
	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	
C30 INTERIOR FINISHES		\$668,865		\$0		\$668,865	
C3010 Wall Finishes	\$311,026				\$311,026		\$22.7
C3020 Floor Finishes	\$115,371				\$115,371		\$8.4
C3030 Ceiling Finishes	\$242,468				\$242,468		\$17.7
D10 CONVEYING SYSTEMS		\$0		\$0		\$0	
D1010 Elevator	\$0				\$0		
D20 PLUMBING		\$192,192		\$0		\$192,192	
D2000 Plumbing	\$192,192				\$192,192		\$14.0
D30 HVAC		\$549,120		\$0		\$549,120	
D3000 HVAC	\$549,120				\$549,120		\$40.0
D40 FIRE PROTECTION		\$75,504		\$0		\$75,504	
D4000 Fire Protection	\$75,504				\$75,504		\$5.5
D50 ELECTRICAL		\$391,248		\$0		\$391,248	
D5010 Service & Distribution	\$41,184				\$41,184		\$3.0
D5020 Lighting & Power	\$178,464				\$178,464		\$13.0
D5030 Communication & Security Systems	\$137,280				\$137,280		\$10.0
D5040 Other Electrical Systems	\$34,320				\$34,320		\$2.5
E10 EQUIPMENT		\$154,200		\$0		\$154,200	
E1000 Equipment	\$154,200				\$154,200		\$11.2
E20 FURNISHINGS		\$111,586		\$0		\$111,586	
E2010 Fixed Furnishings	\$111,586				\$111,586		\$8.1
E2020 Movable Furnishings	\$0						



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CONSTRUCTION COST SUMMARY

BUILDING SYSTEM	Building New Construction		Sitework Backup		Total		Cost/SF
	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	SUB-TOTAL	TOTAL	

SUMMARY NEW CONSTRUCTION

F10 SPECIAL CONSTRUCTION			\$0		\$0		\$0
F1000 Special Construction		\$0				\$0	
F20 HAZMAT REMOVALS			\$0		\$0		\$0
F2010 Building Elements Demolition		\$0				\$0	
F2020 Hazardous Components Abatement		\$0				\$0	
G SITE WORK			\$0		\$1,025,073		\$1,025,073
G1000 Site Preparation & Demolition				\$237,000		\$237,000	\$17.3
G2000 Site Improvements				\$526,373		\$526,373	\$38.3
G3000 Site Utilities				\$261,700		\$261,700	\$19.1

TOTAL DIRECT COST (Trade Costs)		\$4,687,165		\$1,025,073		\$5,712,238	
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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

GROSS FLOOR AREA CALCULATION

Admin Areas	1,407	sf
Admin Storage Areas	411	sf
Building Support Kitchen Areas	771	sf
Building Support Areas	562	sf
Corridor Areas	1,818	sf
Public Areas	2,839	sf
Public Areas, Intergen. Lounge/Lobby/Children's/Adult's	4,319	sf
Toilet Room Areas	555	sf
Vestibule Areas	162	sf
Balance	884	sf

TOTAL GROSS FLOOR AREA (GFA)

13,728 sf

A10 FOUNDATIONS

A1010 STANDARD FOUNDATIONS

Strip Footings	88	CY
Foundation Walls	245	CY
Spread Footings	27	CY
Piers	23	CY

Total Foundation Concrete 383 CY

Strip footings, assume 3'-0"W x 1'-0"D

Formwork	1,254	sf	14.00	17,556
Re-bar	6,270	lbs.	1.20	7,524
Concrete material	73	cy	135.00	9,855
Placing concrete	73	cy	90.00	6,570

Foundation wall, assume 12" thick, avg 8'H, 4'below grade, 4'exposed

Formwork	10,032	sf	15.00	150,480
Re-bar	17,556	lbs.	1.20	21,067
Concrete material	195	cy	135.00	26,325
Placing concrete	195	cy	90.00	17,550
Form shelf	627	lf	6.00	3,762

Foundation spread footing, assume avg size 4'Lx4'Wx1'D

Excavation, spread footings	379	cy		
Store on site for reuse	379	cy		
Backfill with existing fill	354	cy		
Formwork	640	sf	13.00	8,320
Re-bar	2,309	lbs.	1.20	2,771
Concrete material; 3,000 psi	25	cy	135.00	3,375
Placing concrete	25	cy	90.00	2,250
Set anchor bolts grout plates	40	ea	50.00	2,000

Foundation spread footing, assume avg size 4'Lx4'Wx1'D @ Canopy

Excavation, spread footings	38	cy		
Store on site for reuse	38	cy		
Backfill with existing fill	36	cy		
Formwork	64	sf	13.00	832
Re-bar	231	lbs.	1.20	277
Concrete material; 3,000 psi	2	cy	135.00	270
Placing concrete	2	cy	90.00	180
Set anchor bolts grout plates	4	ea	50.00	200

Piers/Pilasters

Formwork	1,056	sf	16.00	16,896
Re-bar	2,760	lbs.	1.20	3,312
Concrete material	23	cy	135.00	3,105
Placing concrete	23	cy	90.00	2,070

Excavation & Backfill

Strip footings incl walls

Excavation	813	cy	14.00	11,382
Store on site	813	cy	8.00	6,504
Backfill with onsite material	480	cy	12.00	5,760

Spread footings



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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

066	Excavation	417	cy	14.00	5,838		
067	Store on site	417	cy	8.00	3,336		
068	Backfill with onsite material	390	cy	12.00	4,680		
069	<u>Miscellaneous</u>						
070	Gravel fill beneath footings, 12"	1	ls	10,000.00	10,000		
071	Damproofing as req'd at foundations	13,046	sf	2.00	26,092		
072	Insulation as req'd at foundations	13,046	sf	3.00	39,138		
073							
074	Dewatering for foundation work , allowance	1	ls	5,000.00	5,000		
075	A1010 SUBTOTAL					424,277	
076							
077	A1020 SPECIAL FOUNDATIONS						
078	No Work in this section		ls				
079	A1020 SUBTOTAL					-	
080							
081	A1030 LOWEST FLOOR CONSTRUCTION						
082	Slab on grade, assume 4" , basement		sf		NIC		
083	Slab on grade, assume 4" , remainder	13,812	sf				
	Slab on grade total	13,812					
085	Vapor barrier	13,812	sf	1.00	13,812		
086	Mesh reinforcing 15% lap	15,884	sf	1.10	17,472		
087	Concrete - 4" thick; 4,000 psi	177	cy	125.00	22,125		
088	Water vapor reducer admixture	177	cy	52.00	NR		
089	Place & finish including control joints	13,812	sf	2.50	34,530		
090	Excavation & backfill for slab on grade	552	cy	35.00	19,320		
091	Insulation at slab on grade, 2" - 4ft wide at perimeter only	2,508	sf	2.25	5,643		
092	Base course, 12"	512	cy	38.00	19,456		
093	Compact sub-grade	13,812	sf	0.50	6,906		
094	E & B for underslab plumbing	1	ls	12,000.00	12,000		
095	A1030 SUBTOTAL					\$ 151,264	
096							
097	TOTAL - FOUNDATIONS						\$575,541

A20 BASEMENT CONSTRUCTION

A2010 BASEMENT EXCAVATION

Excavation & Backfill

Strip footings

Excavation

Store on site

Backfill with onsite material

Excavate & remove for basement

A2010 SUBTOTAL

NIC

NIC

NIC

NIC

\$

-

A2020 BASEMENT WALLS

Strip footings, assume 3'-0"W x 1'-0"D

Formwork

Re-bar

Concrete material

Placing concrete

Foundation wall, assume 12" thick, 10'H.

Formwork

Re-bar

Concrete material

Placing concrete

Form shelf

Miscellaneous

Gravel fill beneath footings, 12"

Perimeter drain @ basement only

Waterproofing as req'd at foundations

Insulation as req'd at foundations

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC

NIC



Upton Community Center
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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

A2020	SUBTOTAL					\$	-
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TOTAL - BASEMENT CONSTRUCTION							
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B10 SUPERSTRUCTURE

83 tns -

12.09 lbs/sf

B1010 FLOOR CONSTRUCTION

800 sf

Floor construction, steel framing - Attic 4 tn 4,200.00 16,800

Floor construction, steel framing - slab above basement NIC

Floor deck 2" & light concrete 2" 800 sf 10.00 8,000

Misc. anchors bolts, plates as req'd 1 ls 1,240.00 1,240

B1010	SUBTOTAL					\$	26,040
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B1020 ROOF CONSTRUCTION

15,727 sf

3 tn 4,200.00 12,600

Roofing, flat - canopy 76 tn 4,200.00 319,200

Roofing, Shingle 12:4 3 ea 2,000.00 6,000

Dormer, 10'-0"W 2 ea 5,000.00 10,000

Dormer, 43'-0"W @ Clerestory 3 ea 1,500.00 4,500

Misc. anchors bolts, plates as req'd 1 ls 17,615.00 17,615

B1020	SUBTOTAL					\$	369,915
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TOTAL - SUPERSTRUCTURE							\$395,955
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B20 EXTERIOR CLOSURE

8,567

B2010 EXTERIOR WALLS

7,219 sf

Exterior cladding, assumed cedar shingles 5,455 sf 20.00 109,100

Exterior cladding, foundation cladding, field stone 1,764 sf 50.00 88,200

Exterior cladding, precast band @ foundation wall 588 lf 30.00 17,640

Exterior cladding, trim 7,219 sf 4.00 28,876

Chimney Construction for Fireplace 500 sf 40.00 20,000

Misc. metals as req'd for façade 7,219 sf 1.00 7,219

Wood blocking as req'd at exterior walls 7,219 sf 1.50 10,829

Joint sealants as req'd at exterior walls 7,219 sf 2.00 14,438

Staging & lifts as req'd 7,219 sf 3.00 In rates

Backup to exterior cladding 7,219 sf 17.00 122,723

Interior GWB face to exterior cladding 7,219 sf 3.50 25,267

B2010	SUBTOTAL					\$	444,292
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B2020 WINDOWS

1,348 sf

Clerestory, West Façade 240 sf 100.00 24,000

Curtain Wall, linear 283 sf 120.00 33,960

Louvers, sf 100 sf 65.00 6,500

Storefront, 9'-6"H 225 sf 90.00 20,250

Windows, double hung; aluminum clad wood 500 sf 85.00 42,500

Sun screening devices, allow 50% of windows 1 ls 16,900 16,900

Wood blocking as req'd at exterior windows 1,348 sf 3.00 4,044

Joint sealants as req'd at exterior windows 1,348 sf 2.00 2,696

B2020	SUBTOTAL					\$	150,850
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B2030 EXTERIOR DOORS

Single Leaf Door Summary 2 ea

Double Leaf Door Summary 3 ea

Door 3070 EXT-ALU 2 ea 2,500.00 5,000

Door 6070 EXT-ALU 3 ea 5,000.00 15,000

Frames included w/ curtainwall & storefront 5 ea

Hardware 8 ea 1,200.00 9,600



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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

188	Wood blocking as req'd at exterior doors	94	lf	7.00	658		
189	Joint sealants as req'd at exterior doors, interior & exterior	154	lf	9.00	1,386		
190	B2030 SUBTOTAL					\$	31,644
191							
192	TOTAL - EXTERIOR CLOSURE						\$626,786
193							
194							

B30 ROOFING

B3010 ROOF COVERINGS

198	Roof Area Summary	15,727	sf				
199	Roof Edge Perimeter Summary	1,244	lf				
200							
201	Roofing, flat - canopy, assume PVC, complete system	600	sf	18.00	10,800		
202	Roofing, Shingle 12:4 - assume asphalt, complete system	15,127	sf	24.00	363,048		
203	Dormer, 10'-0"W	3	ea	2,000.00	6,000		
204	Dormer, 43'-0"W @ Clerestory, Roof Covering	2	ea	4,300.00	8,600		
205	Dormer, 7'-0"W, Roof Covering	3	ea	1,400.00	4,200		
206	Roof soffit, underside entrance/canopy	600	sf	20.00	12,000		
207	Roof edge flashing & fascia assembly, flat roof	101	lf	20.00	2,020		
208	Roof edge flashing & fascia assembly, sloped shingle roof	1143	lf	30.00	34,290		
209	Roof to wall flashing	195	lf	20.00	3,900		
210	Wood blocking at roof edge	2,488	lf	7.00	17,416		
211	B3010 SUBTOTAL					\$	462,274
212							

B3020 ROOF OPENINGS

214	No Work in this section						
215	B3020 SUBTOTAL					\$	-
216							

TOTAL - ROOFING

\$462,274

C10 INTERIOR CONSTRUCTION

C1010 PARTITIONS

223	One sided GWB Walls Summary		sf				
224	Two sided GWB Walls Summary	14,013	sf		-		
225	Two sided CMU Walls Summary		sf				
226							
227	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 13'H	1456	sf	12.00	17,472		
228	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 16'H	4048	sf	12.00	48,576		
229	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 18'H	990	sf	12.00	11,880		
230	Wall X - 3.5" MF NR GWB, 1L-ES w/ Acoust. Ins 20'H	6940	sf	12.00	83,280		
231	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 13'H	325	sf	14.50	4,713		
232	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 16'H	128	sf	14.50	1,856		
233	Wall X - 3.5" MF NR GWB, 1L-OS, Plumbing 18'H	126	sf	14.50	1,827		
234	Interior Storefront, metal framed 10'H @ Vestibule (3 Locations)	360	sf	85.00	30,600		
235	C1010 SUBTOTAL					\$	200,204
236							

C1020 INTERIOR DOORS

238	Single Leaf Door Summary	26	ea				
239	Double Leaf Door Summary	3	ea				
240							
241	Frame 3070 INT - HM	26	ea	400.00	10,400		
242							
243	Door 3070 INT- ALU, w/ Full Lite	5	ea	900.00	4,500		
244	Door 3070 INT- FRP	5	ea	600.00	3,000		



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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

245	Door 3070 INT- HM	9	ea	500.00	4,500		
246	Door 3070 INT- HM w/ Sidelite	7	ea	500.00	3,500		
247	Door 6070 INT- ALU, w/ Full Lite	3	ea	1,800.00	5,400		
248							
249	Hardware	32	ea	800.00	25,600		
251	Sidelite frame & glazing	147	sf	85.00	12,495		
252							
253	Wood blocking at openings	502	lf	6.00	3,012		
254	Paint doors & frames	32	ea	125.00	4,000		
255	C1020 SUBTOTAL					\$	76,407

C1030 SPECIALTIES / MILLWORK

258	Column covers, 20'H @ Intergen lounge	17	ea	1,500.00	25,500		
259	Window trim, wood	1,348	lf	5.00	6,740		
260	Door trim, wood	502	lf	12.00	6,024		
261	Partition, divider @ Quiet Study	160	sf	50.00	8,000		
262	Partition, folding @ Large Program Area	555	sf	75.00	41,625		
263	TA - Grab bars	5	ea	300.00	1,500		
264	TA - Hand dryer	5	ea	650.00	3,250		
265	TA - Janitor's mop & bucket holder/storage shelving	1	ea	1,500.00	1,500		
266	TA - Mirror, framed	7	ea	200.00	1,400		
267	TA - Paper towel dispenser	5	ea	250.00	1,250		
268	TA - Sanitary napkin disposal	5	ea	175.00	875		
269	TA - Soap dispenser	7	ea	50.00	350		
270	TA - Toilet paper holder	7	ea	125.00	875		
271	TA - Waste bin	5	ea	100.00	500		
272	Toilet compartment, ADA	2	ea	1,600.00	3,200		
273	Toilet compartment, standard	2	ea	1,200.00	2,400		
274	Urinal Screen	2	ea	550.00	1,100		
275	Door signage	29	ea	150.00	4,350		
276	Way finding/directory	3	ea	900.00	2,700		
277	Entrance signage	1	ls	5,800.00	5,800		
278	Gas fireplace, large double sided @ Intergen. Lounge	1	ls	25,000.00	25,000		
279	Visual display boards, tackboards, markerboards, allowance	13,728	gsf	1.00	13,728		
280	Misc. Millwork & Specialties not shown, allowance	13,728	gsf	2.00	27,456		
281	Wood blocking as req'd for specialties & millwork installation	13,728	gsf	1.25	17,160		
282	C1030 SUBTOTAL					\$	202,283

TOTAL - INTERIOR CONSTRUCTION

\$478,894

C20 STAIRCASES

C2010 STAIR CONSTRUCTION

290	Stair to partial basement				NIC		
291	Heavy Duty Pulldown Stair to Attic	1	ea	5,000.00	5,000		
292	C2010 SUBTOTAL					\$	5,000

C2020 STAIR FINISHES

295	090007 Concrete finish to partial basement stair				NIC		
296	C2020 SUBTOTAL					\$	-

TOTAL - STAIRCASES

\$5,000

C30 INTERIOR FINISHES

C3010 WALL FINISHES

304	Ceramic tile @ toilet rooms	5,550	sf	22.00	122,100		
305	FRP wall panel @ Kitchen, allowance	1,580	sf	14.00	22,120		
306	Wood/acoustic paneling, trim, accent as req'd @ Intergen Lounge, allowance for 50% of walls	3,510	sf	35.00	122,850		



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GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

307							
308	Paint partitions, gwb	28,026	sf	1.25	35,033		
309	Misc. painting as req'd throughout	13,728	gsf	0.65	8,923		
310	C3010 SUBTOTAL					\$	311,026
311							
312	C3020 FLOOR FINISHES	13,928	sf		-		
313	Admin Areas, assume carpet	1,407	sf	6.22	8,752		
314	Admin Storage Areas, assume resilient	411	sf	4.00	1,644		
315	Building Support Kitchen Areas, assume kitchen grade epoxy	771	sf	18.00	13,878		
316	Building Support Areas, assume resilient	1,646	sf	4.00	6,584		
317	Corridor Areas, assume LVT	1,818	sf	5.50	9,999		
318	Public Areas, assume carpet	2,839	sf	6.22	17,659		
319	Public Areas, Interger. Lounge/Lobby/Children's/Adult's, assume carpet	4,319	sf	6.22	26,864		
320	Toilet Room Areas, assume ceramic tile	555	sf	20.00	11,100		
321	Vestibule Areas, assume resilient & walk off entry matt	162	sf	7.00	1,134		
322							
323	Ceramic base	555	lf	15.00	8,325		
324	Rubber base	2358	lf	4.00	9,432		
325							
326	C3020 SUBTOTAL					\$	115,371
327							
328	C3030 CEILING FINISHES	13,928	sf		-		
329	Admin Areas, assume ACT	1,407	sf	6.00	8,442		
330	Admin Storage Areas, assume GWB	411	sf	12.00	4,932		
331	Building Support Kitchen Areas , assume ACT	771	sf	6.50	5,012		
332	Building Support Areas, assume ACT	1,646	sf	6.00	9,876		
333	Corridor Areas, assume ACT	1,818	sf	6.00	10,908		
334	Public Areas, assume ACT	2,839	sf	6.00	17,034		
335	Public Areas, Interger. Lounge/Lobby/Children's/Adult's, assume acoustic wood ceiling	4,319	sf	30.00	129,570		
336	Toilet Room Areas, assume MRGWB	555	sf	10.00	5,550		
337	Vestibule Areas, assume wood soffit	162	sf	25.00	4,050		
338	Drywall soffits & returns	3683	sf	12.00	44,196		
339	Paint GWB ceiling	966	sf	3.00	2,898		
340	C3030 SUBTOTAL					\$	242,468

TOTAL - INTERIOR FINISHES

\$668,865

D10 CONVEYING SYSTEMS

D1010 ELEVATOR

No Work in this section

SUBTOTAL

\$ -

TOTAL - CONVEYING SYSTEMS

D20 PLUMBING

D2000 PLUMBING, GENERALLY

Plumbing, generally

13,728

gsf

14.00

192,192

SUBTOTAL

\$ 192,192

TOTAL - PLUMBING

\$192,192

D30 HVAC

D3000 HVAC, GENERALLY

HVAC, Generally

13,728

gsf

40.00

549,120

SUBTOTAL

\$ 549,120

TOTAL - HVAC

\$549,120



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CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

D40 FIRE PROTECTION

D4000 FIRE PROTECTION, GENERALLY

Sprinkler system

13,728

gsf

5.50

75,504

SUBTOTAL

\$ 75,504

TOTAL - FIRE PROTECTION

\$75,504

D50 ELECTRICAL

D5010 SERVICE & DISTRIBUTION

Service & distribution

13,728

gsf

3.00

41,184

SUBTOTAL

\$ 41,184

D5020 LIGHTING & POWER

Lighting & branch circuitry

13,728

gsf

8.00

109,824

Lighting controls, allowance

13,728

gsf

5.00

68,640

SUBTOTAL

\$ 178,464

D5030 COMMUNICATION & SECURITY SYSTEMS

Fire alarm system

13,728

gsf

3.00

41,184

Security system

13,728

gsf

2.00

27,456

Tel/data

13,728

gsf

5.00

68,640

SUBTOTAL

\$ 137,280

D5040 OTHER ELECTRICAL SYSTEMS

Misc.

Fees & permits

13,728

gsf

2.00

27,456

Temp power & lights

13,728

gsf

0.50

6,864

SUBTOTAL

\$ 34,320

TOTAL - ELECTRICAL

\$391,248

E10 EQUIPMENT

E1000 EQUIPMENT, GENERALLY

Food service equipment, allowance

771

sf

200.00

154,200

SUBTOTAL

\$ 154,200

TOTAL - EQUIPMENT

\$154,200

E20 FURNISHINGS

E2010 FIXED FURNISHINGS

Manual window shades at exterior windows

1,348

sf

7.00

9,436

Cabinet, base, wall & counter @ Tech Service Staff Work Room

26

lf

570.00

14,820

Counter, computer @ Adult Collection

9

lf

300.00

FFE

Counter, computer @ Children's Collection

9

lf

300.00

FFE

Custom Desk @ Circ/Info/Reception

41

lf

600.00

24,600

Millwork @ Display Area

22

lf

900.00

19,800

Millwork @ Periodicals

17

lf

900.00

15,300

Millwork @ Pub. Tech. Business Center

28

lf

900.00

25,200

Millwork, book casework 12"D x 3'H @ Children's Collection

248

lf

800.00

FFE

Millwork, book casework 12"D x 7'H @ Adult Collection

191

lf

800.00

FFE

Millwork, book casework 12"D x 7'H @ Intergen. Lounge

96

lf

800.00

FFE

Entrance mats @ Vestibule

162

sf

15.00

2,430

SUBTOTAL

\$ 111,586

E2020 MOVABLE FURNISHINGS

All movable furnishings to be provided and installed by owner

NIC

SUBTOTAL

\$ -



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GFA

13,728

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Building New Construction

	TOTAL - FURNISHINGS						\$111,586
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F10	SPECIAL CONSTRUCTION
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F1000 SPECIAL CONSTRUCTION

No items in this section

	SUBTOTAL					\$	-
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	TOTAL - SPECIAL CONSTRUCTION						
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F20	SELECTIVE BUILDING DEMOLITION
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F2010 BUILDING ELEMENTS DEMOLITION

No items in this section

	SUBTOTAL					\$	-
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F2020 HAZARDOUS COMPONENTS ABATEMENT

No items in this section

	SUBTOTAL					\$	-
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	TOTAL - SELECTIVE BUILDING DEMOLITION						
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Upton Community Center
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GFA 60,000

CSI CODE	DESCRIPTION	QTY	UNIT	UNIT COST	EST'D COST	SUB TOTAL	TOTAL COST
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Sitework Backup

GROSS FLOOR AREA CALCULATION

Site Area 60,000

TOTAL GROSS FLOOR AREA (GFA) 60,000 sf

G SITEWORK

G1000 SITE PREPARATION & DEMOLITION

Demo & remove existing buildings				NIC
Demo & remove existing hardscape & site furnishings	60,000	sf	1.25	75,000
Demo & remove vegetation & softscape	60,000	sf	0.50	30,000
Site construction fence	600	lf	20.00	12,000
Site grading & earth work	60,000	sf	2.00	120,000
Assume stable soil conditions, no premiums for contaminated soils				
SUBTOTAL				237,000

G2000 SITE IMPROVEMENTS

Curbing, granite 6"W	360	lf	40.00	14,400
Curbing, granite 6"W, along sidewalk	370	lf	40.00	14,800
Paving, bit. concrete 4"D @ Parking w/ gravel base	14,000	sf	4.00	56,000
Repairs to extg. Lot	30,000	sf		NIC
Paving, concrete - pedestrian, 7"D w/ gravel base	3,617	sf	8.00	28,936
Paving, concrete sidewalk 7"D w/ gravel base	1,204	sf	8.00	9,632
Unit paving, granite @ Outdoor Terrace w/ gravel/concrete base	2,283	sf	34.00	77,622
Rip rap stone along brook edge, allowance	2,600	sf	8.00	20,800
Site furnishing, pavement markings, HC	2	ea	150.00	300
Site furnishing, pavement markings, standard	41	ea	100.00	4,100
Site furnishing, pavement markings, striping	1	ls	1,398.00	1,398
Site landscape, play area - assume grass	13,300	sf	1.25	16,625
Playground equipment, allowance	1	ls	150,000.00	150,000
Repairs to extg. Play area	16,300	sf		NIC
Site landscape, shrubs & ornamental grass plantings	8,815	sf	4.00	35,260
Site landscape, tree - large deciduous	8	ea	1,200.00	9,600
Site landscape, tree - multi-stem ornamental	9	ea	800.00	7,200
Site-cast concrete, retaining seat wall w/ granite veneer & cap 1'-6"W	66	lf	450.00	29,700
Other site furnishings not shown, allowance	1	ls	50,000.00	50,000
SUBTOTAL				526,373

G3000 SITE UTILITY

Site water, allowance	1	ls	30,000.00	30,000
Site sewer, allowance	1	ls	15,000.00	15,000
Site storm, allowance	19,900	sf	8.00	159,200
Site gas, allowance	1	ls	7,500.00	7,500
Site electrical, allowance	1	ls	20,000.00	20,000
Site lighting, allowance	1	ls	30,000.00	30,000
SUBTOTAL				261,700

TOTAL - SITEWORK \$1,025,073



0 20 40 FT

